



VILLAGE OF TWIN LAKES

105 East Main Street P O Box 1024 Twin Lakes, Wisconsin 53181

Phone (262) 877-2858 Fax (262) 877-4019

AGENDA

PLAN COMMISSION MEETING

Wednesday, March 1st, 2023 at 6:30pm

VILLAGE HALL

1. Call to order
2. Pledge of Allegiance
3. Roll Call
4. Consideration of a motion to approve Plan Commission minutes from February 1, 2023.
5. Review and recommendation to the Village Board a CSM for parcel #85-4-119-164-1000.
6. Discussion regarding a Preliminary Certified Survey Map for parcel #85-4-119-211-3540.
7. Discuss and consider for approval the Design Review for Family Dollar/Dollar Tree at parcels #85-4-119-211-4880 & #85-4-119-211-4890.
8. Discuss the Conceptual Plan Review for a proposed subdivision at 2020 East Lake Shore Drive.
9. Adjourn

Roll Call:

Destree, Todd

Busse, Bill

Karow, Aaron

Perl, Ken

Richter, Bran

Smith, Carl

Skinner, Howard- Chair

LEGAL DISCLAIMER: THE BOARD MAY AT ANY TIME MAKE A MOTION TO GO INTO CLOSED SESSION PURSUANT TO SEC. 19.85(1)(A) AND 19.85(1)(G), WIS. STAT., DELIBERATING CONCERNING A CASE SUBJECT TO A QUASI-JUDICIAL HEARING BEFORE THIS GOVERNMENTAL BODY; AND, CONFERRING WITH LEGAL COUNSEL REGARDING STRATEGY AS TO LIKELY LITIGATION.

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE VILLAGE BOARD AND/OR LAKE PROTECTION AND REHABILITATION DISTRICT BOARD OF COMMISSIONERS OR OTHER RELATED GOVERNMENTAL BODIES MAY BE PRESENT AT THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THEY HAVE DECISION MAKING RESPONSIBILITY. NO ACTION WILL BE TAKEN BY ANY GOVERNMENTAL BODY AT THIS MEETING OTHER THAN THE GOVERNMENTAL BODIES SPECIFICALLY REFERRED TO IN THIS INSTANT NOTICE. THIS CONSTITUTES A MEETING OF THE VILLAGE BOARD PURSUANT TO STAT EX REL BADKE VS. GREENDALE VILLAGE BOARD, 173 WIS 2D 553, 494 NW 2D 408 (1993), AND MUST BE NOTICED AS SUCH.

CERTIFIED SURVEY MAP NO. ____

Part of the Northeast 1/4 of the Southeast 1/4 of Section 16, and part of the Northwest 1/4 of the Southwest 1/4 of Section 15, all in Township 1 North, Range 19 East, in the Village of Twin Lakes, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
 :SS
WAUKESHA COUNTY}

I, ERIC R. STURM, a Professional Land Surveyor, certify:

THAT I have surveyed, divided, and mapped part of the Northeast 1/4 of the Southeast 1/4 of Section 16, and part of the Northwest 1/4 of the Southwest 1/4 of Section 15, all in Township 1 North, Range 19 East, in the Village of Twin Lakes, Kenosha County, Wisconsin, bounded and described as follows:

BEGINNING at the Northeast corner of the Southeast 1/4 of said Section 16; thence South 01°25'47" East along the East line of said Southeast 1/4 Section 33.00 feet to a point; thence South 70°59'03" East 23.83 feet to a point; thence Southeasterly 52.18 feet along the arc of a curve, whose center lies to the West, whose radius is 30.00 feet, and whose chord bears South 21°09'19" East 45.85 feet to a point; thence Southwesterly 88.93 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 518.00 feet, and whose chord bears South 23°45'18" West 88.83 feet to a point on the East line of said Southeast 1/4 Section; thence South 01°25'47" East along said East line 329.93 feet to a point; thence South 88°34'13" West 30.47 feet to a point on the East line of Lot 2 of Certified Survey Map No. 2619; thence Northwesterly 95.22 feet along said East line and the arc of a curve, whose center lies to the Southwest, whose radius is 467.00 feet, and whose chord bears North 07°35'01" West 95.05 feet to a point; thence North 01°51'36" West 52.04 feet to a point; thence Northeasterly 50.52 feet along the arc of a curve, whose center lies to the East, whose radius is 527.00 feet, and whose chord bears North 00°53'11" East 50.50 feet to a point on the East line of the West half of previously Vacated Lake Drive; thence Northwesterly 394.77 feet along said East line and the arc of a curve, whose center lies to the Southwest, whose radius is 500.00 feet, and whose chord bears North 47°34'16" West 384.60 feet to a point on the South line of 89th Street; thence South 88°52'39" West along said South line 178.63 feet to a point; thence North 01°07'21" West 33.00 feet to a point on the North line of said Southeast 1/4 Section; thence North 88°52'39" East along said North line 494.79 feet to the point of beginning.

Said lands containing 63,979 square feet or 1.4688 acres.

THAT I have made this survey, land division and map by the direction of DANIEL PATTON, owner.

THAT such map is correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Ordinances of the Village of Twin Lakes, in surveying, dividing and mapping the same.

FEBRUARY 10, 2023
DATE



Eric R. Sturm
ERIC R. STURM,
PROFESSIONAL LAND SURVEYOR S-2309

CERTIFIED SURVEY MAP NO. _____

Part of the Northeast 1/4 of the Southeast 1/4 of Section 16, and part of the Northwest 1/4 of the Southwest 1/4 of Section 15, all in Township 1 North, Range 19 East, in the Village of Twin Lakes, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE

DANIEL PATTON, as owner, certifies that said corporation has caused the land described on this map to be surveyed, divided, dedicated, and mapped as represented on this map in accordance with the Ordinances of the Village of Twin Lakes.

DANIEL PATTON, does further certify that this map is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection: Village of Twin Lakes

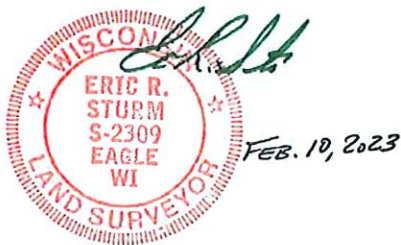
IN Witness Whereof, DANIEL PATTON, has caused these presents to be signed by _____, it's owner on this _____ day of _____, 2023.

DANIEL PATTON

STATE OF WISCONSIN }
 :SS
 COUNTY }

PERSONALLY came before me this _____ day of _____, 2023, _____ of the above named DANIEL PATTON to me known as the person who executed the foregoing instrument, and to me known to be the owner.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES _____



CERTIFIED SURVEY MAP NO. _____

Part of the Northeast 1/4 of the Southeast 1/4 of Section 16, and part of the Northwest 1/4 of the Southwest 1/4 of Section 15, all in Township 1 North, Range 19 East, in the Village of Twin Lakes, Kenosha County, Wisconsin.

PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the Village of Twin Lakes on this _____ day of _____, 2023.

Date

HOWARD SKINNER, CHAIRPERSON

Date

AARON KAROW, TRUSTEE

VILLAGE BOARD APPROVAL

APPROVED by the Village Board of the of the Village of Twin Lakes on this _____ day of _____, 2023.

Date

HOWARD SKINNER, VILLAGE PRESIDENT

Date

SABRINA WASWO, VILLAGE CLERK

KENOSHA COUNTY BOARD APPROVAL

APPROVED by the County Board of the of Kenosha County on this _____ day of _____, 2023.

Date

KENOSHA COUNTY



FEB. 10, 2023

THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,
PROFESSIONAL LAND SURVEYOR S-2309

6.)



Department of Building and Zoning
Subdivision Request
Application and Checklists

Please Print Clearly:
Legal Property Owner:

Name: IVAN PURNELL - MAIN ST. PARTNERS LLC
IMB. T.P. ENTERPRISES
Mailing Address: 12941 DAISY DR.
GENOA CITY WI 53128
City State Zip

Applicant/Petitioner:

Name: IVAN PURNELL
Mailing Address: 12941 DAISY DR.
GENOA CITY WI 53128
City State Zip
Telephone #: 262-203-0210
(Area Code)
Fax Number: _____
E-Mail Address: JOLLYTIME BOATS @ Yahoo.com

Property Information

Property Address: 226 EAST MAIN ST
TWIN LAKES WI 53181
City State Zip
Parcel Number: 85-4-119-211-3540
General Project Location: _____
Proposed Project Use: COMMERCIAL -
Current Use: COMMERCIAL
Existing Zoning: COMMERCIAL
Metes & Bounds Legal Description: _____
(More space is available on the next page)

Review & Approval Checklists

1.) Please select the request for which you are applying:

- Minor Land Division (4 parcels or less) Major Land Division* (5 or more parcels)

*May require development agreement

2.) Are you requesting zoning changes? ** Yes ___ No ___

If yes, fill in the fields immediately below:

Current Zoning: COMMERCIAL

Proposed Zoning: SAME

** Zoning change requests are \$325

3.) Pre-Application Conference

Prior to applying for approval, schedule a meeting with the Village Building Inspector. This initial review meeting is intended to inform you about the Village Code and the Comprehensive Plan, to review standards, and to identify any potential issues. The Building Inspector can be reached at 262.877.3700 or inspector@twinlakeswi.net. You must first meet with the Building Inspector and submit your Concept Plan *before* you can submit a C.S.M. In some cases, only the Building Inspector needs to review and approve your C.S.M. See the Village Code 16.70.015 for situations that require only Building Inspector approval. For all other cases, the C.S.M. will need to be submitted to the Village Board for approval. Details regarding this procedure can be found in the Village Code 16.12.090 and 16.70.050

4.) Required Submittals

Submit the following plans and materials to the Building Inspector for approval. The Building Inspector's approval must be obtained at least 30 days prior to the next scheduled Plan Commission meeting. Plan Commission/Design Review meets the fourth Wednesday of each month at 6:30PM at the Village Hall, 108 E. Main Street, unless rescheduling is needed due to availability. Review will not commence until all of the following have been submitted:

Next Plan Commission Date: _____

Minor Land Division Submittals	Major Land Division Submittals
<p>* Concept Plan (see checklist in section 6)</p> <p>*19 copies of a C.S.M. that has been prepared by a Wisconsin licensed surveyor. Anything larger than letter-sized paper will have to be folded for mailing purposes.</p> <ul style="list-style-type: none"> ~ Review required information for the C.S.M. found in the Village Code: 16.70.090 and 16.70.020 ~ Must include all contiguous land ~ You may be required to delineate primary and secondary environmental corridors and wetlands and stake them as well. Please contact the zoning administrator to verify. <p>* Check payable to Village of Twin Lakes (see fee schedule in section 5)</p>	<p>* Concept Plan, Preliminary & Final (see checklist in section 6)</p> <p>*19 copies of a C.S.M. that has been prepared by a Wisconsin licensed surveyor. Anything larger than letter-sized paper will have to be folded for mailing purposes.</p> <ul style="list-style-type: none"> ~ Review required information for the C.S.M. found in the Village Code: 16.70.090 and 16.70.020 ~ Must include all contiguous land ~ You may be required to delineate primary and secondary environmental corridors and wetlands and stake them as well. Please contact the zoning administrator to verify. <p>* Developer's Agreement</p> <ul style="list-style-type: none"> ~ Covenants, if applicable ~ Condo documentation, if applicable <p>* Check payable to Village of Twin Lakes (see fee schedule in section 5)</p>

Village staff may determine that an escrow account is to be set up with the Village Treasurer to cover attorney, engineer or planner fees. Applicant/petitioner is hereby duly advised that the engineer and/or attorney or any professional assistance as deemed necessary by the Village of Twin Lakes may be employed for this project, issue, or matter. Escrow money required from the applicant will be put into an account for use in the payment of any professional fees and any balance will be returned within 45 days after the matter is completed.

To accompany this application: \$250.00 fee for Plan Commission/Design Review appearance, additional fees and escrow money as noted on the next page, and all completed paperwork.

Owner's Name (please print): JUAN PUNWELL

Owner's Signature: [Signature] Date: 2-23-23

Applicant/Petitioner's Name (please print): JUAN PUNWELL

Applicant/Petitioner's Signature: [Signature] Date: 2-23-23

5.) Required Fees

Plan Commission/Design Review Appearance Fee (Village Code 3.06.010 (D), 1 & 2): \$ 250.00

Zoning Change Request Fee, \$325 if applicable (Municipal Code 17.44.050): \$ _____

Escrow, as required by Village Administrator and/or Building Inspector: \$ _____

Total Amount Due: \$ _____

Developer's Agreement Required? Yes _____ No [Signature]

Checks shall be made payable to Village of Twin Lakes

6.) Concept Plan Checklist (continued on next page)

- Name, address, and telephone number of developer, engineer, and architect
- Existing and proposed zoning districts and land uses
- Plan must be drawn to a recognized engineering scale with graphic scale and north arrow
- Neighborhood sketch plan (if required, consult with Building Inspector regarding your specific project)
- Pattern of existing and probable future development of the area in question
- How the proposed development will relate to the surrounding area
- Conceptual building layouts and parking areas for all uses (other than single-family residential development)
- If available, artist renderings of structures and facilities and floor plans (other than single-family residential development)
- Identify existing and proposed zoning districts and land uses
- Proposed conceptual landscaping (other than single-family residential development)
- Access and internal traffic movement
- Topographic contours at two-foot intervals
- Existing and proposed public and private street layout pattern and all existing and proposed roads to be named (cannot be similar to existing road names)
- Lot or parcel layout, existing and proposed, including areas and dimensions for each
- Number of dwelling units per acre

- Lands reserved or dedicated for streets, parks, playgrounds, and other public purposes
- Existing and proposed sanitary and stormwater management, utility and drainage easements, and erosion/sediment control
- Significant environmental features including navigable waters, wetlands, floodlands, and woodlands
- Vicinity sketch showing adjacent subdivisions and boundaries of unsubdivided land

Village of Twin Lakes

*** CUSTOMER RECEIPT ***

DATE: 02/24/23 TIME: 14:12:56

DESCRIPTION PAY CD AMOUNT

PLAN COMM CK 250.00

 IVAN PURNELL CSM 3466

 TOTAL AMOUNT DUE 250.00

 AMOUNT TENDERED 250.00

 CHANGE DUE .00

TRANS #: 1 CASHIER CODE: LRD

BATCH #: C230224 REGISTER ID: 009

Preliminary Certified Survey Map

(6.)

KENOSHA COUNTY CERTIFIED SURVEY MAP NO. _____

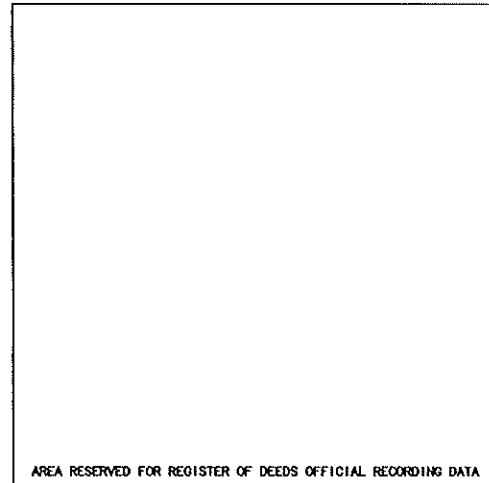
VILLAGE OF TWIN LAKES MAP NO. _____

Lots 2 and 3 of Kenosha County Certified Survey Map 2772 as recorded in the office of the Kenosha County Register of Deeds as Document 1739530 located in the Southwest Quarter of the Northeast Quarter of Section 21, Town 1 North, Range 19 East of the 4th Principal Meridian, Village of Twin Lakes, Kenosha County, Wisconsin

OWNERS & SUBDIVIDERS:
202 MAIN STREET PARTNERS, LLC.

6520 Double Eagle Dr.
Unit 725
Woodridge, IL. 60517

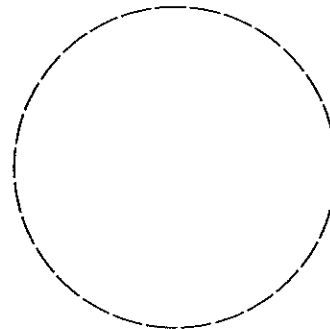
SURVEYOR:
AMBIT LAND SURVEYING
8120 312th Ave.
Wheatland, WI. 53105
262-537-4874
ambit@tds.net



LEGEND:

- Denotes Iron Pipe Set—1" Diameter x 18" Length
Not Less Than 1.13 Pounds Per Linear Foot
- ♂ Denotes Mag/Nail Found
- Denotes Iron Pipe Found—1 3/8" Diameter
- Denotes Concrete Monument Found
- ✕ Denotes Cut Cross Set
- × Denotes Cut Cross Found
- ⊗ Denotes Mag/Nail Set

**SITE IS SERVICED BY PUBLIC SANITARY SEWER.
PROPERTY IS ZONED COMMERCIAL**



Preliminary Certified Survey Map

KENOSHA COUNTY CERTIFIED SURVEY MAP NO. _____

VILLAGE OF TWIN LAKES MAP NO. _____

Lots 2 and 3 of Kenosha County Certified Survey Map 2772 as recorded in the office of the Kenosha County Register of Deeds as Document 1739530 located in the Southwest Quarter of the Northeast Quarter of Section 21, Town 1 North, Range 19 East of the 4th Principal Meridian, Village of Twin Lakes, Kenosha County, Wisconsin

SURVEYORS CERTIFICATE

I, Mark A. Bolender, Professional Land Surveyor, hereby certify:

That I have surveyed, redivided and mapped Lot 2 and Lot 3 of Kenosha County Certified Survey Map 2772, located in the Southwest Quarter of the Northeast Quarter of Section 21, Township 1 North, Range 19 East of the 4th Principal Meridian, in the Village of Twin Lakes, Kenosha County, State of Wisconsin, containing 49,906 sq. ft., 1.14 acres, more or less.

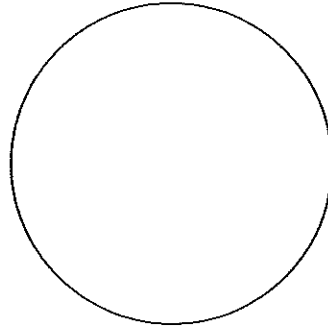
That I have made such survey, land division, and map by the direction of Ivan Purnell, agent for owners, 202 Main Street Partners LLC.

That such map is a correct representation of the exterior boundaries of the land surveyed and the division thereof.

That I have fully complied with the provisions of s. 236.34 of the Wisconsin Statutes and the subdivision regulations of the Village of Twin Lakes in surveying, dividing and mapping the same.

Dated this _____ day of _____, 2023.

Mark A. Bolender
Professional Land Surveying S - 1784



OWNER'S CERTIFICATE

As agent, Ivan Purnell, I hereby certify that I caused the land described on this plat to be surveyed, divided and mapped and as represented on this plat. I also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the Village of Twin Lakes for approval.

Ivan Purnell, Agent

WITNESS the hand and seal of said owner this _____ day of _____, 2023.

STATE OF WISCONSIN }
COUNTY OF KENOSHA }

Personally came before me this _____ day of _____, 2023, the above named Ivan Purnell, to me known to be the same person who executed the foregoing instrument and acknowledged the same.

Notary Public Kenosha County, Wisconsin My Commission Expires _____.

CERTIFICATE OF APPROVAL VILLAGE OF TWIN LAKES

This CERTIFIED SURVEY MAP approved by the Village of Twin Lakes on this _____ day of _____, 2023.

Howard Skinner-Village President

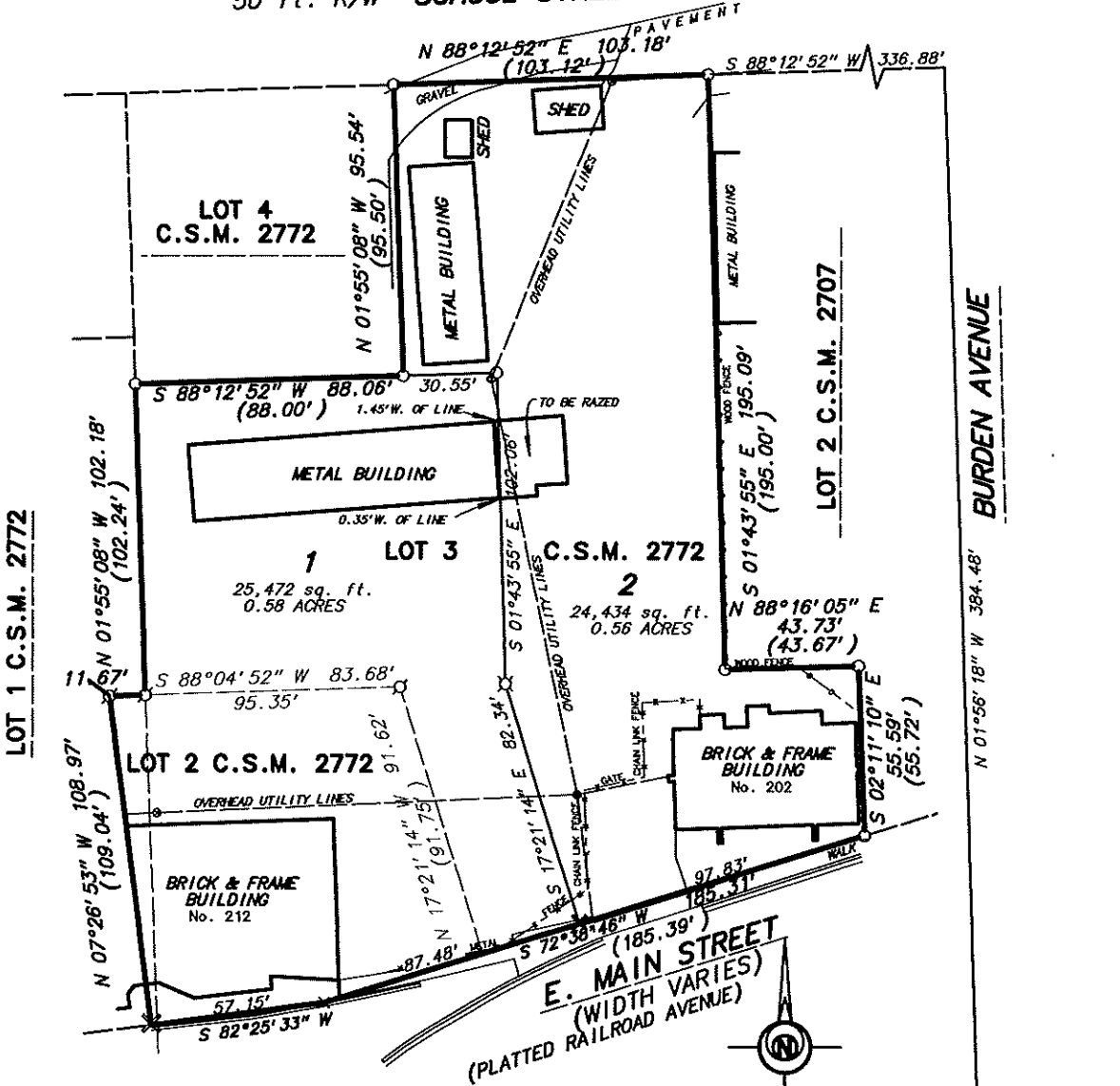
Sabrina Waswo-Village Clerk

Preliminary Certified Survey Map

KENOSHA COUNTY CERTIFIED SURVEY MAP NO. _____
 VILLAGE OF TWIN LAKES MAP NO. _____

Lots 2 and 3 of Kenosha County Certified Survey Map 2772 as recorded in the office of the Kenosha County Register of Deeds as Document 1739530 located in the Southwest Quarter of the Northeast Quarter of Section 21, Town 1 North, Range 19 East of the 4th Principal Meridian, Village of Twin Lakes, Kenosha County, Wisconsin

50 ft. R/W SCHOOL STREET PARTIALLY IMPROVED



SW. CORNER OF THE NE. 1/4 SEC. 21-1-19
 N 199,462.79
 E 2,470,063.59

GRID NORTH
 WISCONSIN COORDINATE SYSTEM,
 SOUTH ZONE - NAD 1927
 THE SOUTH LINE OF THE NE. 1/4 SEC. 21-1-19 BEARS S 88°31'49" W

S. LINE NE. 1/4 SEC. 21-1-19
 1317.92' S 89°31'49" W 1321.50'

GRAPHIC SCALE
 1 inch = 50 feet

SE. CORNER OF THE NE. 1/4 SEC. 21-1-19
 N 198,530.48
 E 2,472,702.38

DRAFT NOT TO SCALE

Mark A. Bolender
 Wisconsin Professional Land Surveyor - 1784
 January 6, 2023

The Avenue
275 West Wisconsin Avenue, Suite 300
Milwaukee, WI 53203
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com



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MEMORANDUM

TO: Plan Commission
Village of Twin Lakes

FROM: GRAEF
Larry Witzling, Senior Planner & Urban Designer
Dominic Marlow, Planner & Urban Designer

DATE: February 10, 2023

SUBJECT: Second Design Review for the proposed Family Dollar and Dollar Tree at North Lake Avenue

A. PURPOSE

Discuss and consider for approval a Design Review Application from Andy Gabbert, PLA (Applicant) for a new commercial development for parcels #85-4-119-211-4880 and #85-4-119-211-4890. For informational purposes, the Subject Property is located on CTH "EM" (North Lake Avenue), Twin Lakes, WI 53181.

The following items were submitted by the Applicant for review:

- Construction Documents (16 pages, dated 1/25/23)
- Architectural Plans (2 pages, dated 1/12/23)
- Architectural Plans (6 pages, dated 12/05/2022)
- Response Letter (2 pages, dated *in error* March 18, 2016*) (Received 12/13/2022)

B. BACKGROUND

The Applicant is proposing a Retail Store with Parking (Family Dollar and Dollar General) totaling 10,500 SF of building area and 38 standard parking spaces and 2 accessible spaces. A review for an earlier version of this development was included in a memorandum by GRAEF dated November 30, 2022 and heard by the Plan Commission on December 14, 2022.

The proposed development would take place on the following parcels:

- #85-4-119-211-4880 – 0.73 acres and #85-4-119-211-4890 – 0.73 acres with 206 ft of frontage on North Lake Avenue.
- The parcel is currently vacant, zoned as COM "Commercial District". The use "Retail, including but not limited to: art, books, clothing, electronics, flowers, music, and shoe stores," is listed as a Permitted Use.
- The land contains wetlands and some existing vegetation (The Applicant is proposing to fill a portion of the existing wetlands on the south portion of the site).

Major changes from the previous review are highlighted where applicable.

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the proposed development are to be accomplished by the Village Engineer. Therefore, GRAEF defers all engineering-related review and comment to the Village Engineer.



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Figure 1: Subject Property

Kenosha County Interactive GIS – yellow boundary highlights the parcels included in this proposal



C. SUMMARY OF KEY CHANGES

Below is a summary of the key changes in the proposed development compared to the earlier design reviewed for the Plan Commission on December 14, 2022.

A. Buildings:

a. Façade materials: The Applicant previously proposed a façade composed of adhered masonry veneer (natural stone cut into thin sections) and Exterior Insulation Finishing Systems (EIFS – also known as “synthetic stucco”) with coated metal coping topping the parapet walls. The façade extended less than one-fourth (1/4) of the side of the building.

- i. The Applicant has revised the plan to replace the adhered masonry veneer with face brick veneer in a red color to match adjacent buildings. The synthetic stucco material comprising the majority of the façade remains. (See Figure 2)
- ii. The Applicant has extended the proposed façade materials the entire length of the southern side façade and to one-fourth (1/4) of the northern façade. (See Figure 4)

Figure 2: Proposed Façade Materials

KEYNOTE	HATCH	DESCRIPTION	COLOR
MSN		FACE BRICK VENEER	RED BLEND TO MATCH ADJ BUILDING
EIFS-1		EIFS - COLOR 1 (FINISH - PRODUCT STO 310)	STO 'SANDSTONE' 93860 (NA10-0052)
EIFS-2		EIFS - COLOR 2 (FINISH - PRODUCT STO 310)	STO 'SMOKED PUTTY' 93240 (NA10-0053)
EIFS-G		EIFS - ACCENT COLOR (FINISH - PRODUCT STOLIT 130D)	BENJAMIN MOORE 'ENVY'
EIFS-R		EIFS - ACCENT COLOR (FINISH - PRODUCT STOLIT 130D)	BENJAMIN MOORE 'SAFETY RED'



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Figure 3: Previous Side Elevation (Source: Applicant – 10/11/22)

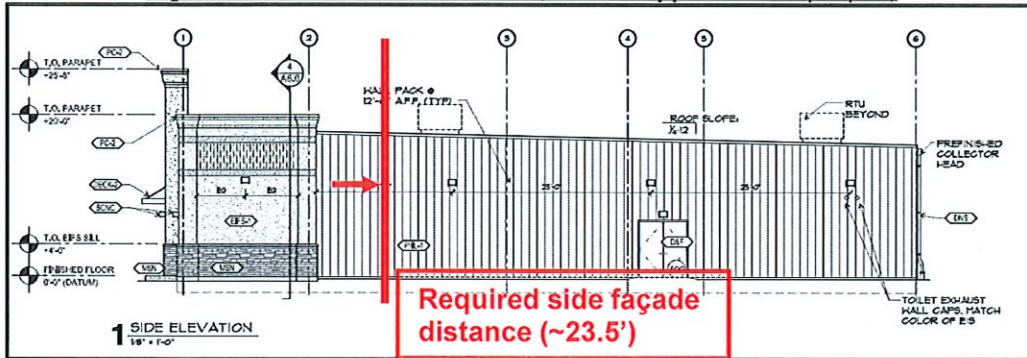
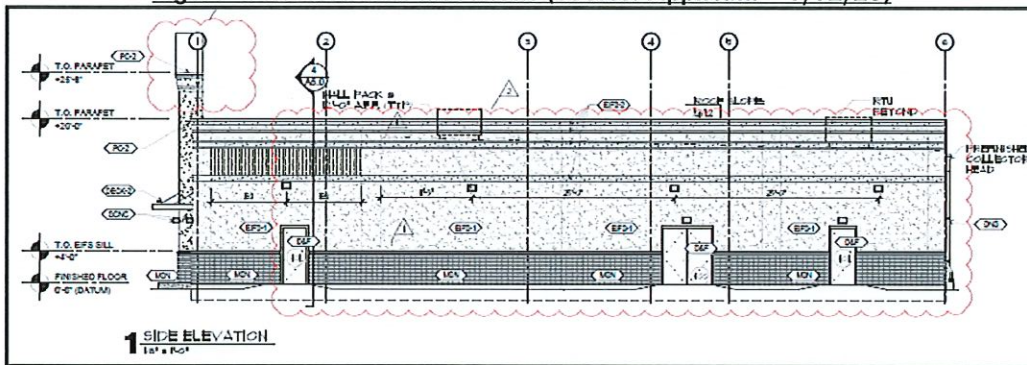
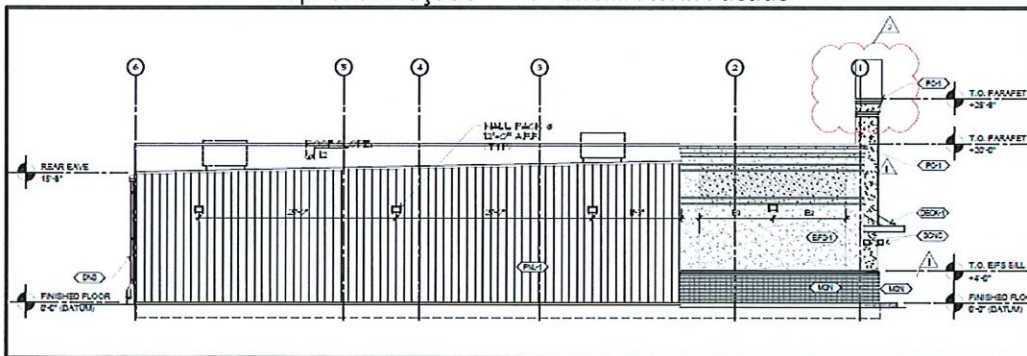


Figure 4: Revised Side Elevations (Source: Applicant – 1/12/23)



^ Top: South façade v Bottom: North Facade





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B. Architectural consistency and coherence: The Applicant previously proposed a two-part rectangular façade with column details at each major corner. The previous design showed façade materials which continued across the column details.

- a. Façade shape: The Applicant has revised the shape of the façade to a gable/sloped roofline. (See Figure 5)
- b. Fenestration and massing: The Applicant has revised the column details by removing the stripes of material changes across. (See Figure 6)

Figure 5: Previous Façade (Top) and Revised Façade (Bottom)

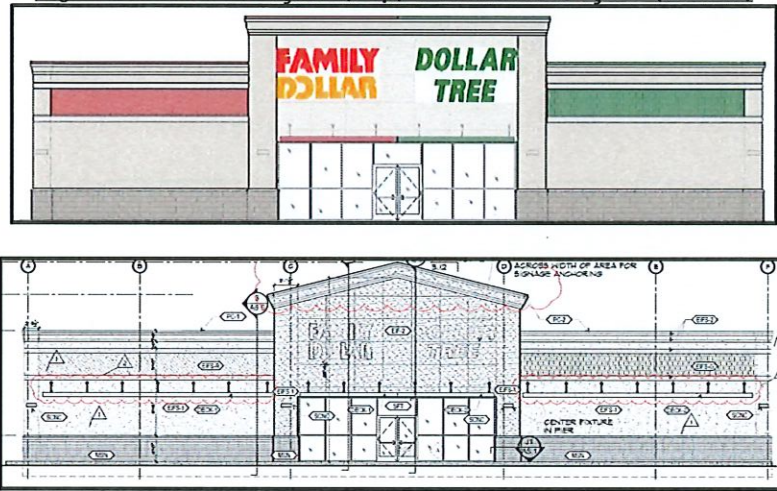
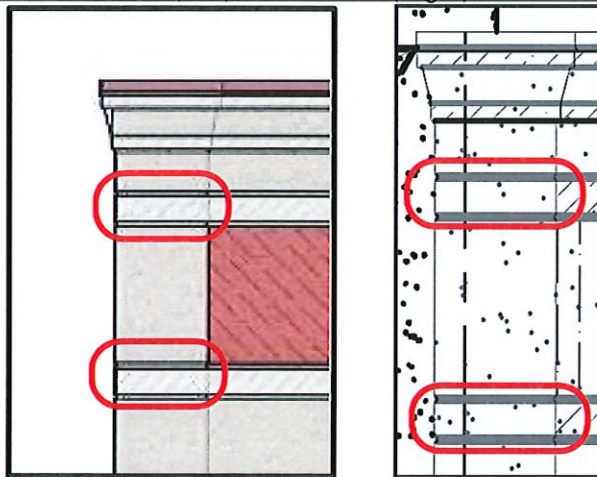


Figure 6: Previous (Left) and Revised (Right) Column Details



C. Façade details: The Applicant previously proposed a façade an awning/canopy over the main entry across the primary façade.

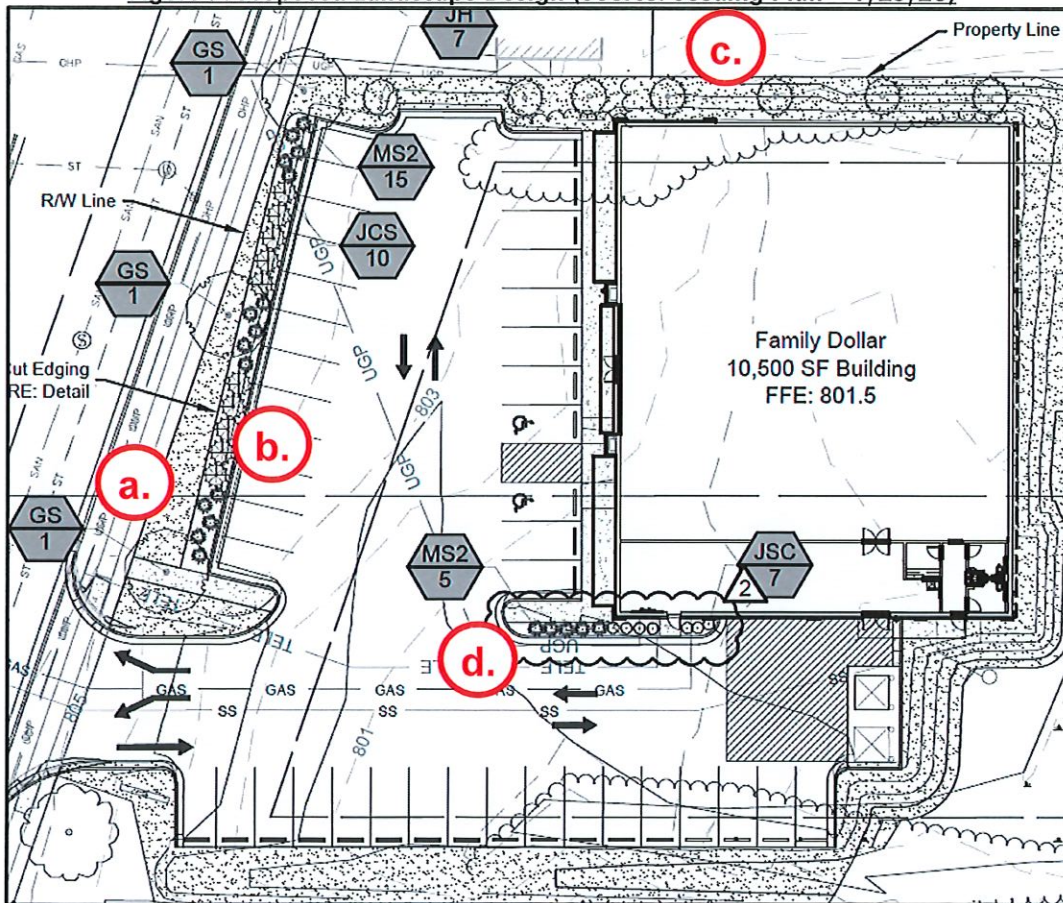
- a. Awning/canopy: The Applicant has revised the design to include two new awnings/canopies across each of the secondary facades. (See Figure 5)



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- D. Landscape: The Applicant previously proposed a landscape plan consisting entirely of turf and one preserved tree on the property. (See Figure 7)
- a. Street Trees: The Applicant has revised the design to include three (3) Honey Locust street trees behind the sidewalk on North Lake Avenue.
 - b. General landscaping: The Applicant has revised the design to include a series of ten (10) sea green juniper shrubs and twenty (15) Maiden Grass shrubs along the western parking lot edge in an approximately four and a half (4.5) foot deep planting bed.
 - c. Landscape buffer: The Applicant has revised the design to include a series of seven (7) evergreens with a six (6) foot height minimum on the northern property edge to buffer the adjacent building.
 - d. Foundation plantings: The Applicant has revised the design to include foundation plantings as screening for the loading area on the southern façade consisting of seven (7) Skyrocket Junipers with a six (6) foot height minimum and five (5) Maiden Grass shrubs in the front.

Figure 7: Proposed Landscape Design (Source: Seeding Plan – 1/25/23)





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- E. Setbacks: The Applicant previously proposed a parking lot within the side yard setback area of the property.
 - a. Setbacks: The Applicant has revised the design to shift the parking to conform to setback requirements.

D. REVIEW OF RECOMMENDED CHANGES TO PREVIOUS DESIGN

Staff provided several recommendations to the previous design of the proposed development. Staff's recommendations from the December 2022 Plan Commission are included below in bold, italic, double-underline. The Applicant has submitted a revised design addressing each of these concerns, outlined below each recommendation.

- A. Buildings: Façade Dimensions - The Applicant proposed a design which did not meet façade length requirement for the side facades of the building.
 - a. Applicant shall revise the elevation in the architectural plan to extend façade materials a minimum distance equal to one-fourth (1/4) of the side dimension.
 - i. The Applicant has revised the side facades to the entire length of the southern façade and one-fourth (1/4) the length of the northern façade.
- B. Buildings: Architectural Consistency and Coherence - Staff recommended four options to revise the design of the façade, included below:
 - a. Applicant should remove the stripes across the column details to distinguish them from the rest of the façade design; and/or
 - i. The Applicant has revised the design to remove the stripes across the column details.
 - b. Applicant should continue the horizontal articulation of the parapet on the primary façade the entire length of the column to match the column details on the secondary façade; and/or
 - i. The column details have been removed from the primary façade in favor of a gable roof design in line with recommendation (d) below.
 - c. Applicant should integrate red brick of similar masonry materials compatible with its surroundings; and/or
 - i. Red brick veneer has been integrated into the lower portion of the façade in place of the previous masonry veneer proposed.
 - d. Applicant should revise the roofline to a gable design more compatible with its surroundings.
 - i. The Applicant has revised the design to include a gable roofline.
- C. Buildings: Visibility from the Street – The Plan Commission did not identify additional façade requirements on the northern façade.
 - a. Plan Commission to determine the need for additional façade requirements on the northern façade.
 - i. No improvements made, nor recommended.
- D. Landscape: Landscape Design -
 - a. The Applicant shall submit a revised landscape plan including street trees, trees, ground cover and shrubbery in the front setback area and unpaved areas.
 - i. The Applicant has revised the design to include all recommended landscaping.



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Milwaukee, WI 53203
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

- E. Landscape: Existing Trees –
 - a. The Applicant shall revise the landscape plan to preserve the existing tree line on the north side of the property; or
 - i. The Applicant opted for option B, below.
 - b. The Applicant shall provide screening in the form of a fence of landscape buffer on the north side of the property.
 - i. The Applicant has revised the site plan to include landscaping along the north side of the property.
- F. Landscape: Side Yard
 - a. The Applicant shall revise the site plan to include an eight (8) foot strip for landscaping or walkway abutting the front one-quarter (1/4) of the building on the north side of the property.
 - i. The Applicant has revised the site plan to include landscaping along the entire north side of the property.
- G. Signs: Window Signage
 - a. The Applicant shall not place restricted signs out of doors or near the inside surface of a window without first applying for and receiving a Building Permit from the Village Building Inspector.
- H. Parking and Loading Areas: Parking Setbacks
 - a. The Applicant shall revise the parking layout to conform to all required setbacks.
 - i. The Applicant has shifted the parking to conform to all setbacks.
- I. Parking and Loading Areas: Driveway Orientation - Employee parking and loading areas are required to avoid a direct, unscreened view from driveway entrances. Due to the site limitations, Staff recommended a combination of landscaping and extension of the building façade materials to better integrate the loading area into the design.
 - a. The Applicant shall submit a revised site plan such that it avoids a direct, unscreened view from the street to employee parking areas, loading docks, maneuvering areas and permitted outdoor storage areas.
 - i. The Applicant has revised the design to extend the façade the entire length of the loading area and provide landscape screening.
- J. Snow Removal
 - a. The Applicant shall submit all required information regarding snow removal and procedures adhering to the standards contained in the Village Zoning Ordinance.
 - i. The Applicant has shared in the Response Letter "Snow will be piled and stored along the south parking lot to allow snow to melt into the drainage swale prior to entering the wetland.



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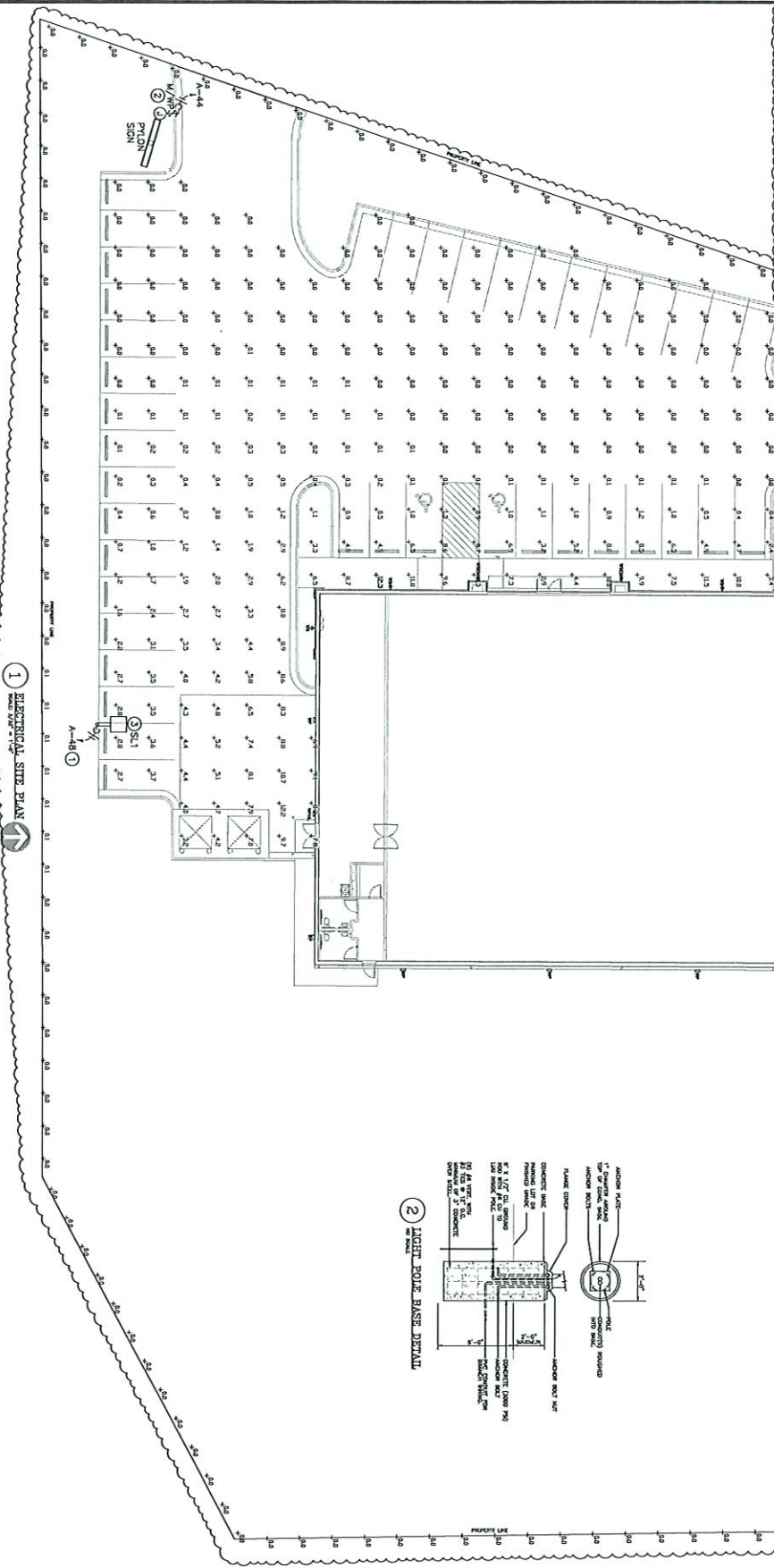
- K. Lighting – All outdoor lighting shall be controlled so as not to extend a direct light source or glare onto abutting properties. **Cutoff type luminaries** shall be used and all lighting sheds shall be indicated in the plans. All outdoor **lighting shall be compatible with existing lighting in the area.** (Sec. 17.42.040(G))
- a. **The Applicant shall submit a Lighting Plan.**
 - i. **The Applicant has submitted a lighting plan showing a maximum of 0.4fc at the property line.**
 - ii. **It is the opinion of Staff that the proposed lighting plan does not represent any concerns.**
 - b. Type of lights: **The Applicant shall specify cutoff type luminaries for all lighting**
 - c. Compatibility: The Applicant is proposing lighting that is similar to the new lighting used by Associated Bank across the street. Staff recommends a lighting color that is a neutral or earth tone compatible with the principal structure and surrounding buildings, rather than black, such as the bronze color proposed for the wall lighting.

E. RECOMMENDATION

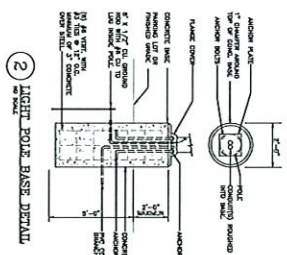
Design Review Agenda Item: The request of Andy Gabbert, PLA (Applicant) for a Design Review on tax parcels #85-4-119-211-4880 and #85-4-119-211-4890, Village of Twin Lakes, Kenosha County and State of Wisconsin:

- (1) Village Planning Staff recommends the Plan Commission **CONDITIONALLY APPROVE** the Application, subject to the following:
- a. **Pursuant to the requirements of Section 17.57, separate sign permit shall be required before any sign can be installed;**
 - b. **The Applicant shall provide correspondence from the Wisconsin Department of Natural Resources granting approval for the filling of wetlands on the Subject Property;**
 - c. **The Applicant shall address any other issues which are raised by any approving or objecting authority, which the Village Plan Commission and/or Village Board deem necessary for the Applicant to address in the application materials, and which have been made, or may be made, by the Village Administrator, Village Attorney, Village Engineer, and Village Planner.**

Label	Quantity	Material	Notes	Unit	Area
1	1	CONCRETE	1" THICK	SQ FT	1.37
2	1	CONCRETE	4" THICK	SQ FT	4.2
3	1	CONCRETE	6" THICK	SQ FT	9.3
4	1	CONCRETE	8" THICK	SQ FT	20.7



1 ELECTRICAL SITE PLAN



2 LIGHT POLE BASE DETAIL

- ELECTRICAL GENERAL NOTES:**
- INSTALL ALL ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

5BY5
ENGINEERS

10000 Grand Ave
Kenosha, WI 53140
531.555.5446
531.555.5447
531.555.5448

A New Retail Location for:
FAMILY DOLLAR
306 N. Lake Ave.
Village of Twin Lakes, WI 53128

ARCHITECTURE
hpd
2022 Howard Street
Oconomowoc, WI 53151
Madison, WI

CIVIL CONSULTANT
LINDSEY A. JAROS
PROJECT ENGINEER
10000 Grand Ave
Kenosha, WI 53140
531.555.5446

STRUCTURAL CONSULTANT
10000 Grand Ave
Kenosha, WI 53140
531.555.5446

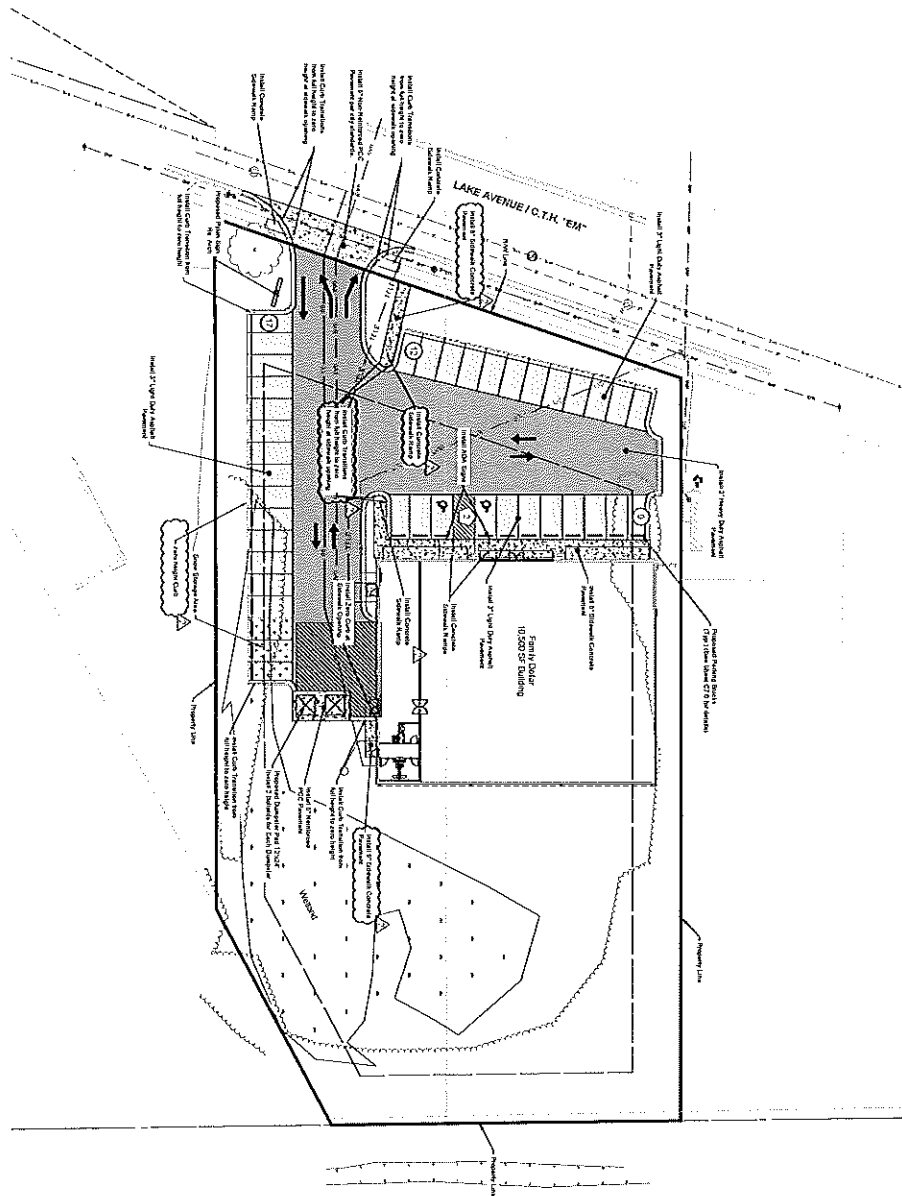
MEP CONSULTANT
10000 Grand Ave
Kenosha, WI 53140
531.555.5446

DATE 10/10/2022
TIME 10:00 AM
PROJECT 2008272
CLIENT 501

Number	Date	Description
1	10/10/2022	CON CONSULTANT
2	10/10/2022	MEP CONSULTANT
3	10/10/2022	STRUCTURAL CONSULTANT
4	10/10/2022	ARCHITECTURE

EO.1

ELECTRICAL SITE LIGHTING PLAN



LEGEND

7" Light Duty Asphalt (Gravel Lot - Parking)
 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade
 1" Subgrade

7" Heavy Duty Asphalt (Parking Lot - Drive Aisle)
 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade

7" Non-Developed PCC Pavement (Drive Approach)
 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade

7" Reinforced PCC Pavement (Driveway Pad)
 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade

7" Concrete Slab
 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade

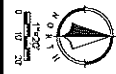
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 1" Top Layer
 1" Subgrade
 1" Subgrade
 1" Subgrade

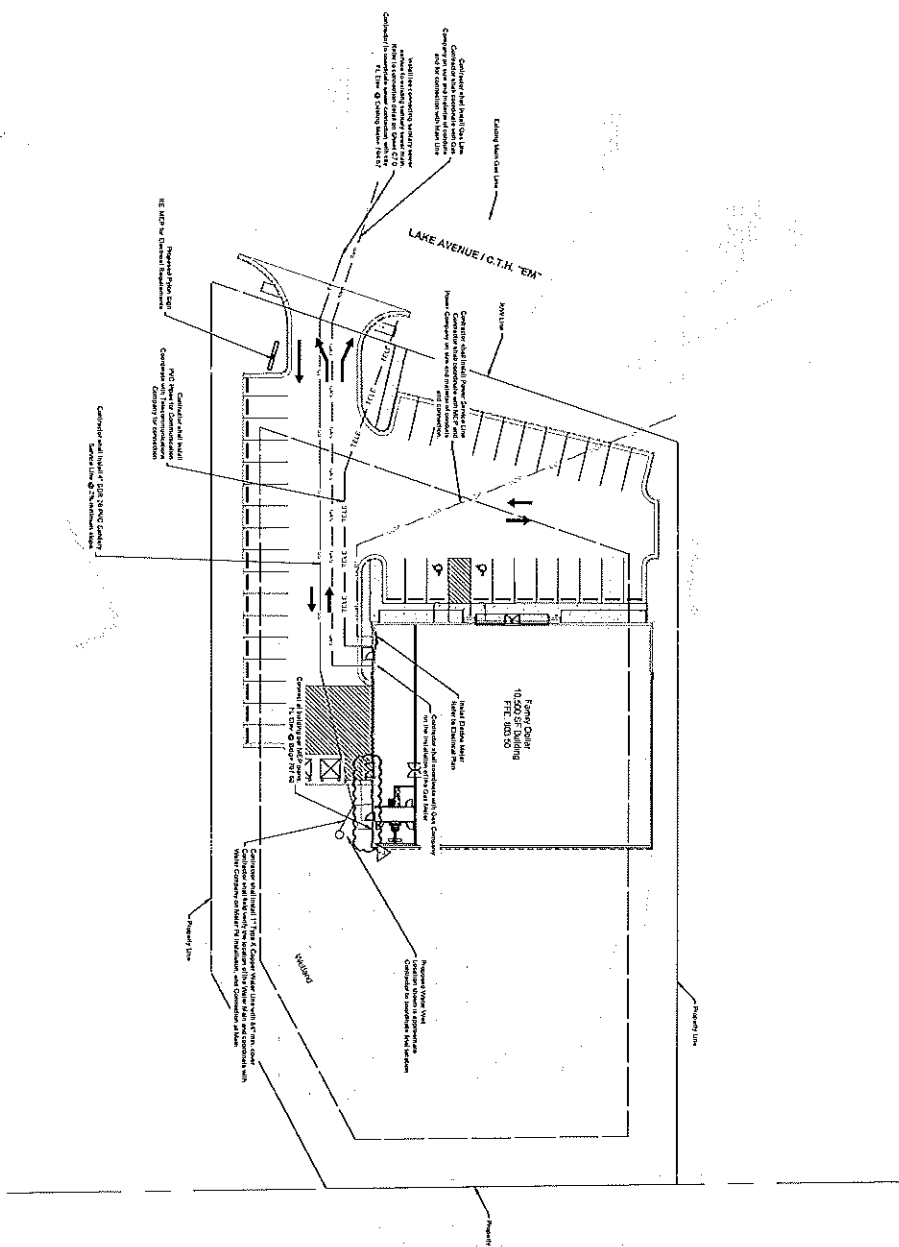
7" Concrete Slab
 1" Top Layer
 1" Subgrade
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 1" Subgrade

7" Concrete Slab
 1" Top Layer
 1" Subgrade
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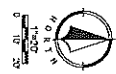
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 1" Subgrade
 1" Subgrade
 1" Subgrade

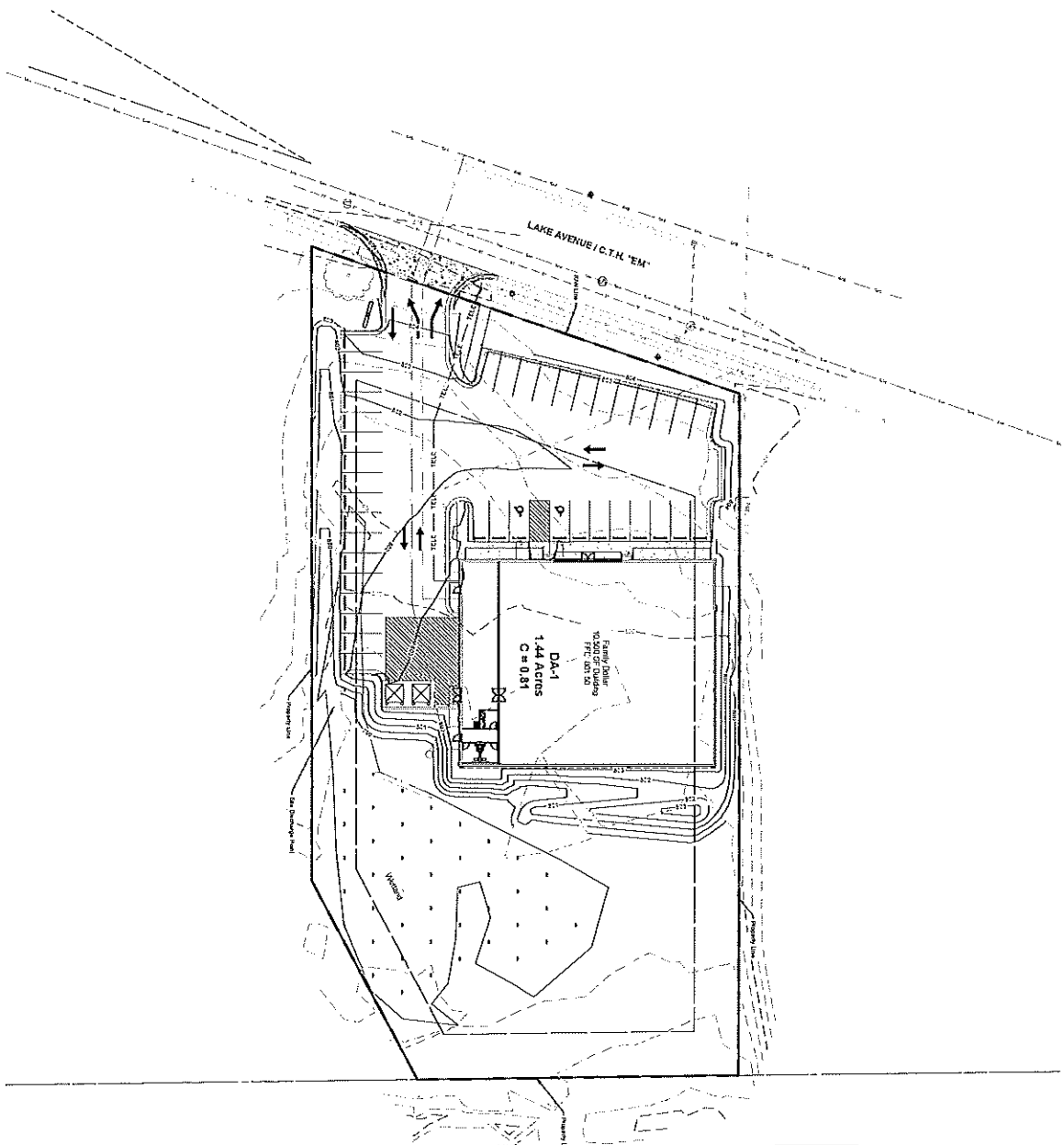
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 1" Subgrade
 1" Subgrade
 1" Subgrade





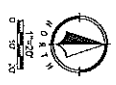
- DISCLAIMER/NOTICE:**
- This drawing is prepared by Renaissance Infrastructure Consulting, Inc. (R.I.C.) and is intended for the use of the client only. It is not to be used for any other purpose without the written consent of R.I.C.
 - The information shown on this drawing is based on field data collected by R.I.C. and is not to be used for any other purpose without the written consent of R.I.C.
 - R.I.C. is not responsible for any errors or omissions in this drawing or for any consequences arising from the use of this drawing.
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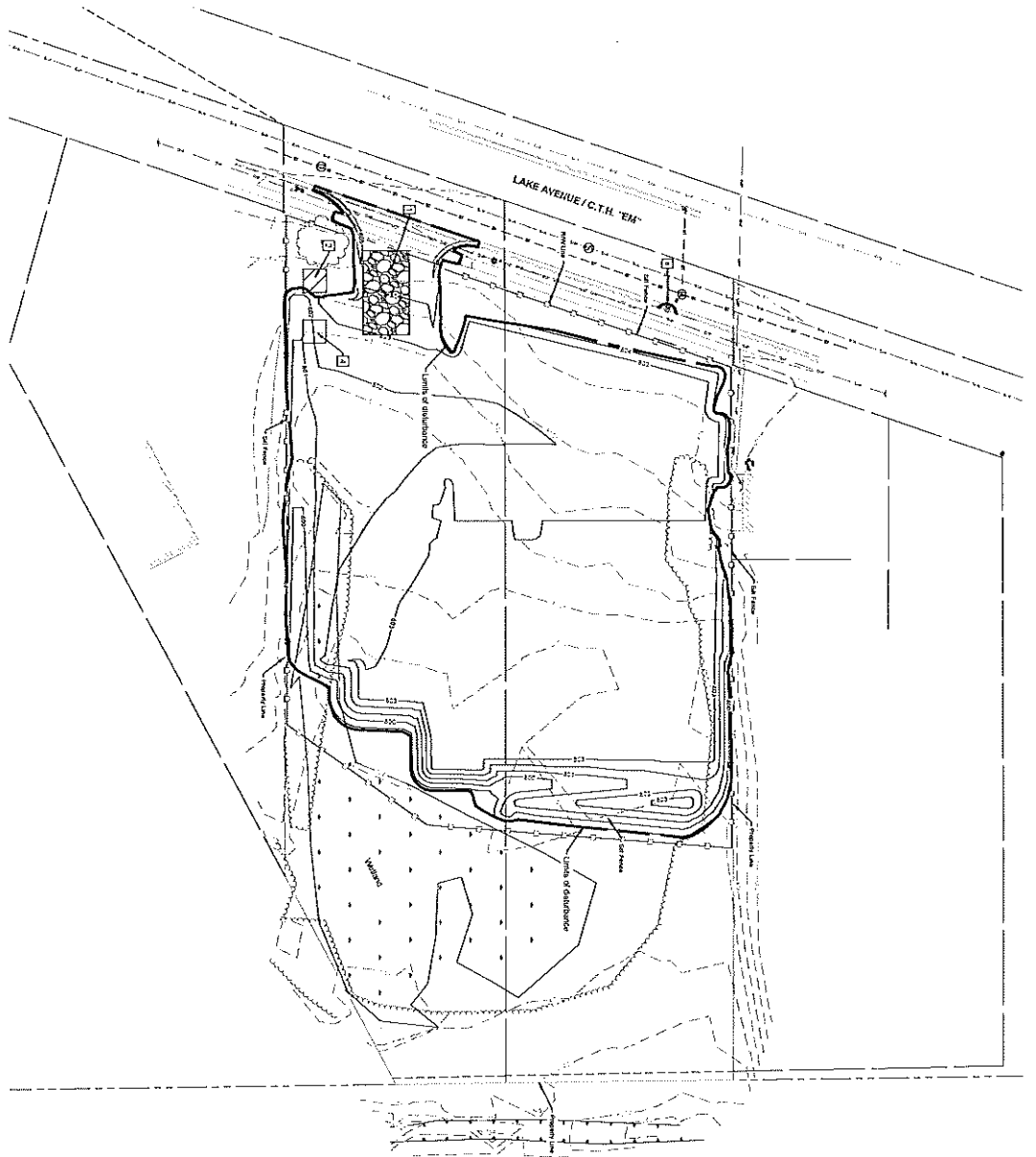




- Proposed Infrastructure**
- Proposed Storm Sewer
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Gas Main
 - Proposed Electric Main
 - Proposed Telephone Main
 - Proposed Cable Main
 - Proposed Fiber Optic Main
 - Proposed Storm Sewer (Grated)
 - Proposed Sanitary Sewer (Grated)
 - Proposed Water Main (Grated)
 - Proposed Gas Main (Grated)
 - Proposed Electric Main (Grated)
 - Proposed Telephone Main (Grated)
 - Proposed Cable Main (Grated)
 - Proposed Fiber Optic Main (Grated)

Total Property Area: 1.44 Acres
 Driveway Area: 0.50 Acres

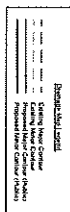
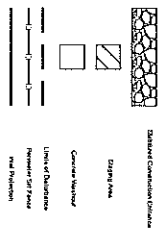




PROJECT STAGE	PLAN NUMBER	DATE DESCRIPTION	REVISION PLAN	NOTES
Phase I	1	Conceptual Outline	II	Final Construction Contract
	2	Utility Plan	II	Final Construction Contract
	3	Final Site Plan	II	Final Construction Contract
	4	Final Utility Plan	II	Final Construction Contract
Phase II	5	Final Construction Contract	II	Final Construction Contract
	6	Final Construction Contract	II	Final Construction Contract
Phase III	7	Final Construction Contract	II	Final Construction Contract
	8	Final Construction Contract	II	Final Construction Contract

Disturbed Area by Site Improvements - 0.889 Acres

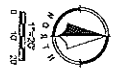
EROSION CONTROL LEGEND



- EROSION CONTROL NOTES**
1. Erosion control and sedimentation measures shall be installed in accordance with the approved erosion control plan.
 2. The contractor shall be responsible for the installation and maintenance of all erosion control measures.
 3. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 4. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 5. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 6. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 7. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 8. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 9. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.
 10. The contractor shall be responsible for the installation and maintenance of all sedimentation control measures.

WATER MANAGEMENT

1. The contractor shall be responsible for the installation and maintenance of all water management measures.
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9. The contractor shall be responsible for the installation and maintenance of all water management measures.
10. The contractor shall be responsible for the installation and maintenance of all water management measures.



Sheet
06.1

Renaissance Infrastructure Consulting
 1025 W. Lake Ave. #114
 Kenosha, WI 53142
 Phone: 920.393.8200
 Fax: 920.393.8201
 Email: info@renaissanceinfrastructure.com

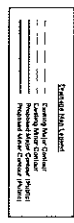
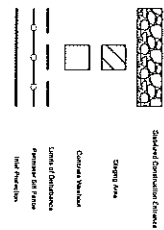
NO.	DATE	DESCRIPTION
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3	06/11/2010	Issue for Review
4	06/11/2010	Issue for Review
5	06/11/2010	Issue for Review
6	06/11/2010	Issue for Review
7	06/11/2010	Issue for Review
8	06/11/2010	Issue for Review
9	06/11/2010	Issue for Review
10	06/11/2010	Issue for Review

E&S Plan - Phase II

Construction Documents
 22-0111
 Family Dollar
 Twin Lakes, Kenosha County, WI

Disturbed Area for Site Improvements : 0.89 Acres

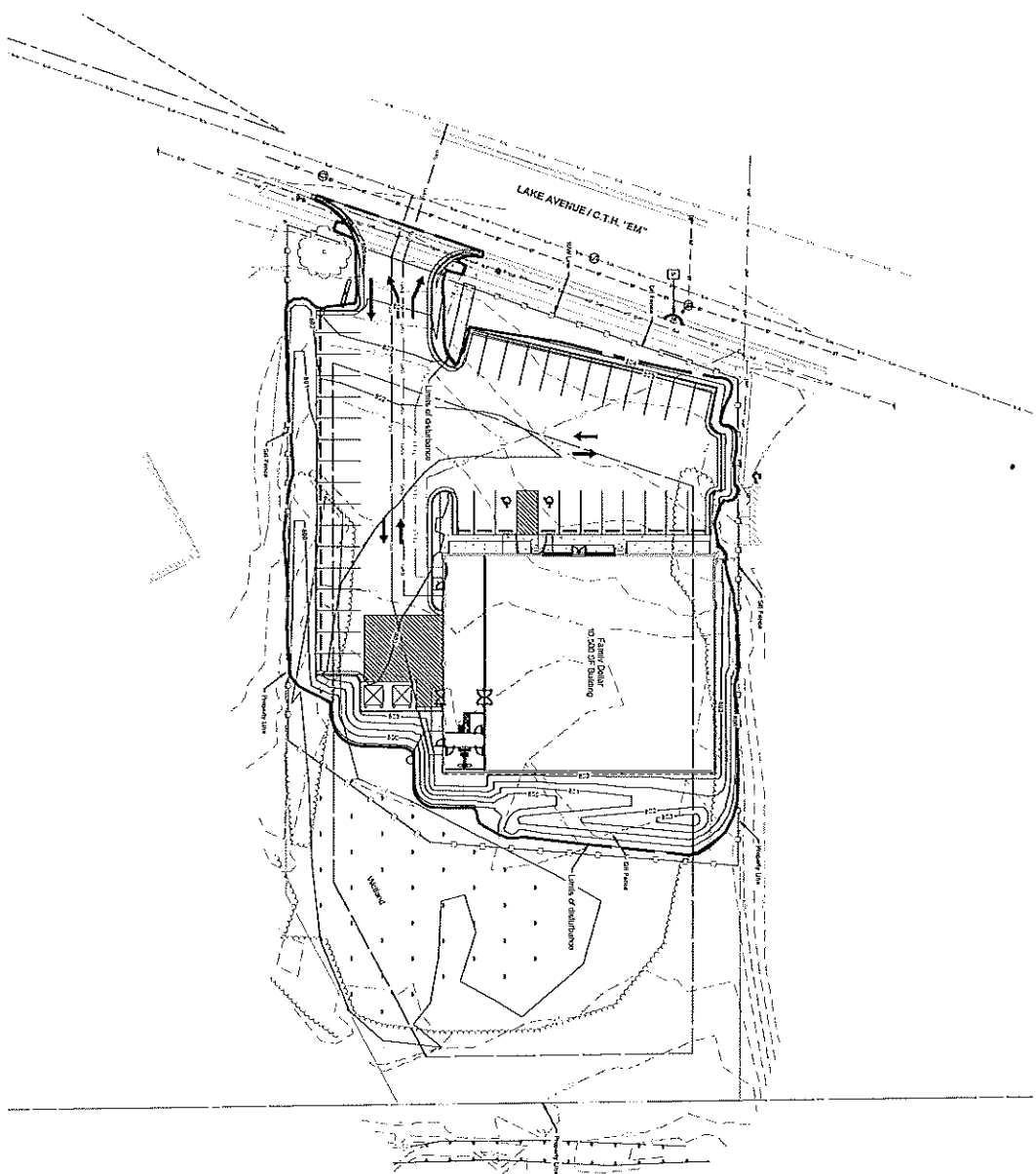
LEGEND



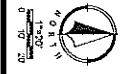
- GENERAL NOTES:**
1. Review existing site conditions and the proposed plan view is substantially correct as shown and shown on the drawings and as shown on the ground.
 2. The proposed site conditions and existing conditions shall be verified by the contractor before construction begins.
 3. The contractor shall maintain a record of all field notes and photographs of the site and shall submit a copy of the same to the engineer for review.
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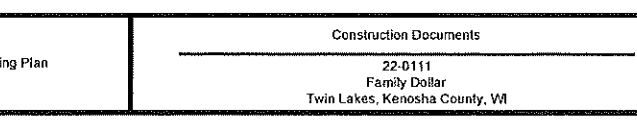
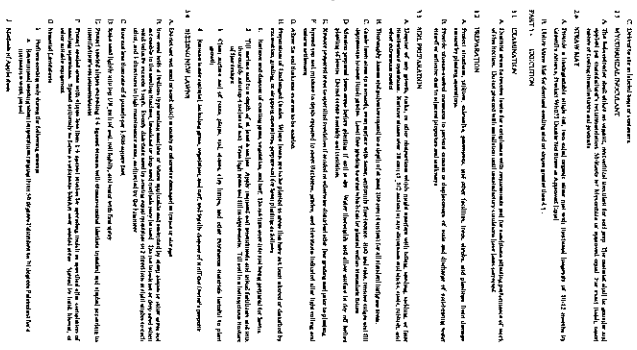
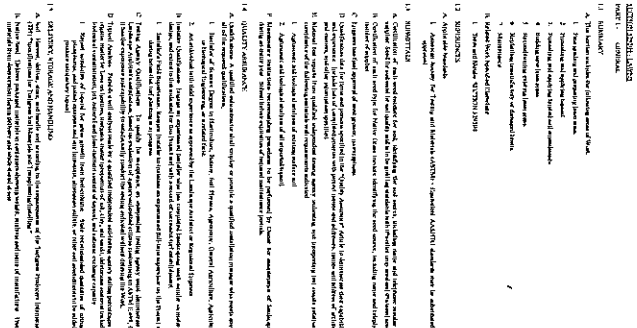
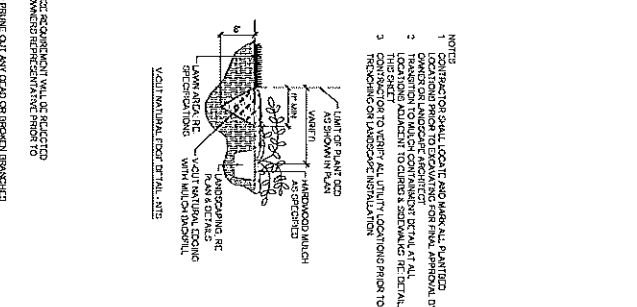
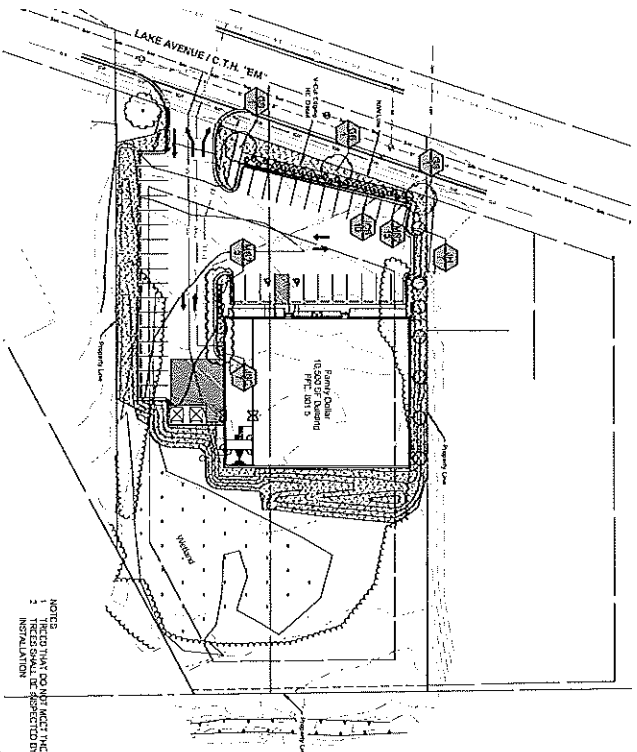
GENERAL NOTES:

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10. The contractor shall maintain a record of all field notes and photographs of the site and shall submit a copy of the same to the engineer for review.



PROJECT STAGE	PLAN NUMBER	DATE DESCRIPTION	SCALE	NOTES
Phase I	1	Construction Criteria	1/8" = 1'-0"	Initial Construction Criteria
	2	Drilling Area	1/8" = 1'-0"	Initial Drilling Area
	3	General Materials	1/8" = 1'-0"	Initial General Materials
	4	General Foundation	1/8" = 1'-0"	Initial General Foundation
Phase II	5	Other Functions	1/8" = 1'-0"	Initial Other Functions
	6	Final Construction Criteria	1/8" = 1'-0"	Final Construction Criteria





PLANT SCHEDULE	SYMBOLOGY	PLANT NAME	PLANT SIZE	PLANT QUANTITY
1	○	Quercus laevis (White Oak)	12" Cal.	3
2	○	Quercus prinus (White Oak)	12" Cal.	3
3	○	Quercus macrocarpa (White Oak)	12" Cal.	3
4	○	Quercus alba (White Oak)	12" Cal.	3
5	○	Quercus rubra (White Oak)	12" Cal.	3
6	○	Quercus sp. (White Oak)	12" Cal.	3
7	○	Quercus sp. (White Oak)	12" Cal.	3
8	○	Quercus sp. (White Oak)	12" Cal.	3
9	○	Quercus sp. (White Oak)	12" Cal.	3
10	○	Quercus sp. (White Oak)	12" Cal.	3
11	○	Quercus sp. (White Oak)	12" Cal.	3
12	○	Quercus sp. (White Oak)	12" Cal.	3
13	○	Quercus sp. (White Oak)	12" Cal.	3
14	○	Quercus sp. (White Oak)	12" Cal.	3
15	○	Quercus sp. (White Oak)	12" Cal.	3
16	○	Quercus sp. (White Oak)	12" Cal.	3
17	○	Quercus sp. (White Oak)	12" Cal.	3
18	○	Quercus sp. (White Oak)	12" Cal.	3
19	○	Quercus sp. (White Oak)	12" Cal.	3
20	○	Quercus sp. (White Oak)	12" Cal.	3
21	○	Quercus sp. (White Oak)	12" Cal.	3
22	○	Quercus sp. (White Oak)	12" Cal.	3
23	○	Quercus sp. (White Oak)	12" Cal.	3
24	○	Quercus sp. (White Oak)	12" Cal.	3
25	○	Quercus sp. (White Oak)	12" Cal.	3
26	○	Quercus sp. (White Oak)	12" Cal.	3
27	○	Quercus sp. (White Oak)	12" Cal.	3
28	○	Quercus sp. (White Oak)	12" Cal.	3
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NOTES:

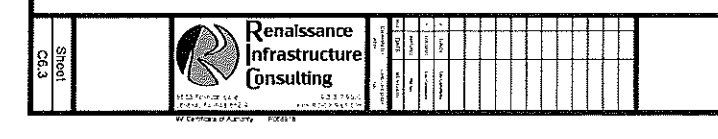
- THESE PLANTS DO NOT MEET THE SPECIFICATIONS OF THE CITY OF MILWAUKEE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MILWAUKEE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MILWAUKEE.
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PLANTING DETAIL:

- INSTALL 1" OF HARDWOOD MULCH UNDER AND AROUND THE TREE.
- INSTALL 1" OF HARDWOOD MULCH UNDER AND AROUND THE TREE.
- INSTALL 1" OF HARDWOOD MULCH UNDER AND AROUND THE TREE.
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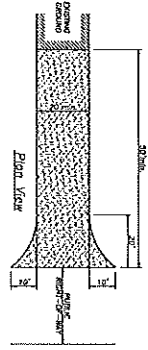
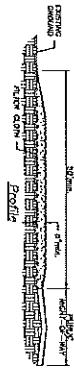
GENERAL NOTES:

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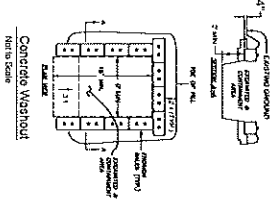
Renaissance Infrastructure Consulting

1125 FORT WASHINGTON AVENUE
MILWAUKEE, WI 53212
TEL: 414.224.1100
WWW.RENAISSANCEINFRASTRUCTURECONSULTING.COM

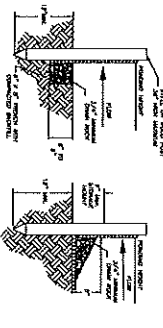
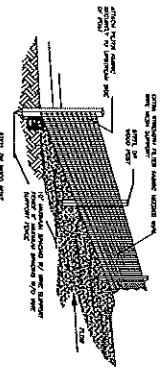


- CONSTRUCTION SPECIFICATIONS:**
1. STAKE OUT & USE 0.25" WIRE TIE, OR EQUIVALENT BY APPROVED CONTRACTOR.
 2. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 3. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 4. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 5. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 6. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 7. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).
 8. REINFORCE WITH #4 BARS AT 12" ON CENTER (12" MINIMUM FROM FACE OF CURB).

Temporary Construction Entrance
Not to Scale

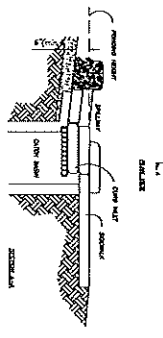
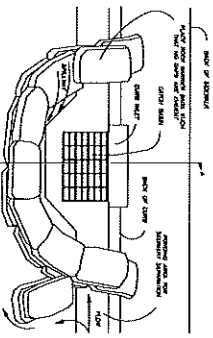


Concrete Washout
Not to Scale



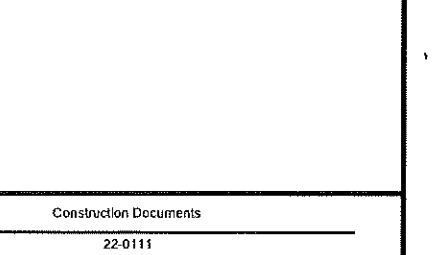
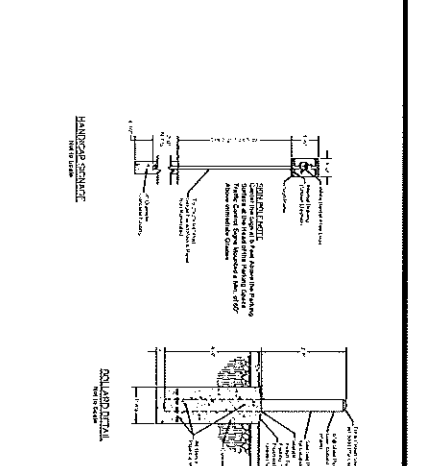
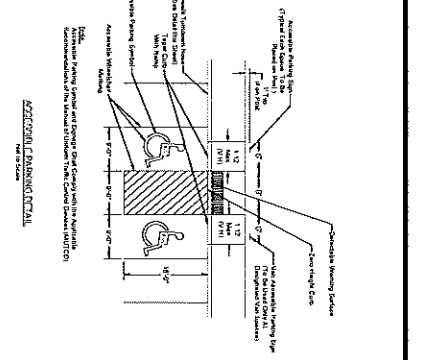
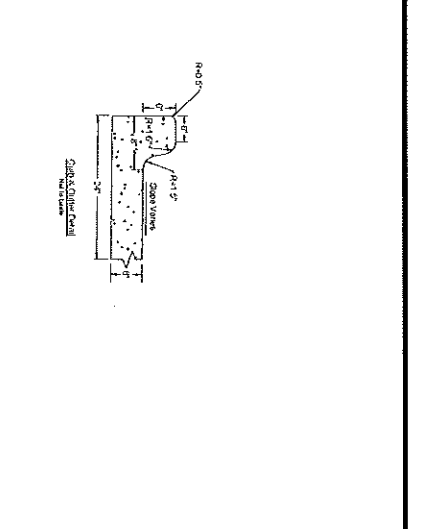
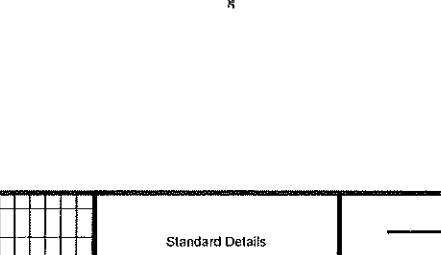
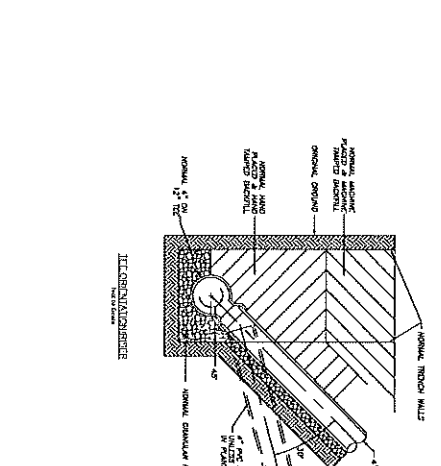
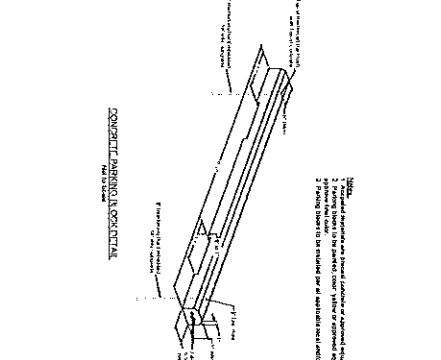
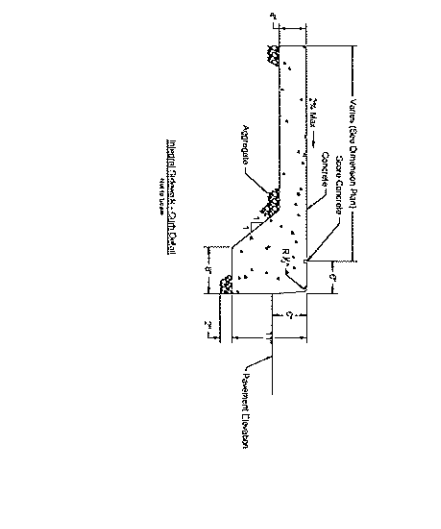
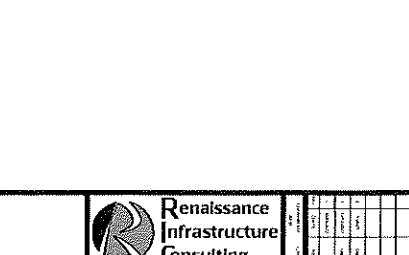
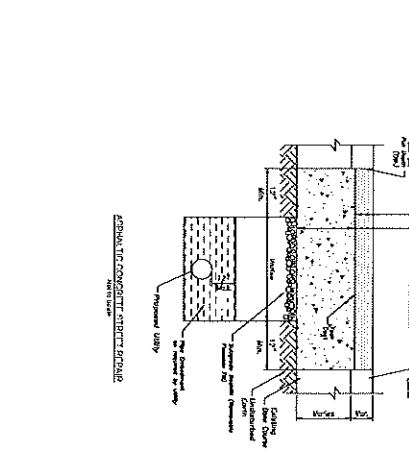
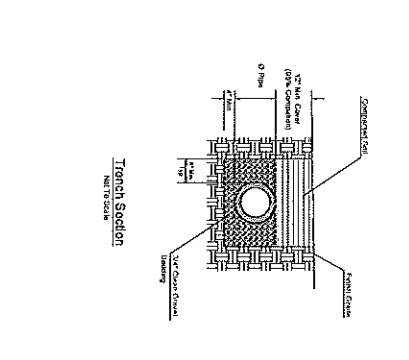
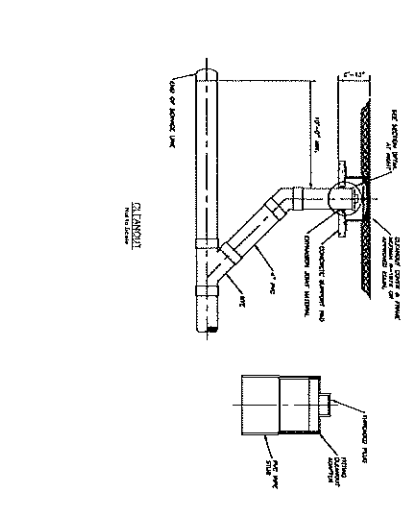
- NOTES:**
1. FABRIC SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.
 2. FABRIC SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.
 3. FABRIC SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.
 4. FABRIC SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.

Filler Fabric Silt Fence
Not to Scale



- NOTES:**
1. ROCK BAG CURB SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.
 2. ROCK BAG CURB SHALL BE SPECIALLY DESIGNED TO WITHSTAND IMPACT FROM VEHICLES.
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Rock Bag Curb Inlet Barrier
Not to Scale



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FINISH SCHEDULE

ROOM / SPACES	FLOORS	BASES	HALLS	CEILING	NOTES
01	CONCRETE FLOOR	CONCRETE FLOOR	CONCRETE FLOOR	CONCRETE FLOOR	
02	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
03	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
04	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
05	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
06	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
07	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
08	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
09	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	
10	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL	

DOOR SCHEDULE

DOORS	DETAILS	FR	HS	DR	NOTES
01	1. 1/2" GLASS	1	1	1	
02	1. 1/2" GLASS	1	1	1	
03	1. 1/2" GLASS	1	1	1	
04	1. 1/2" GLASS	1	1	1	
05	1. 1/2" GLASS	1	1	1	
06	1. 1/2" GLASS	1	1	1	
07	1. 1/2" GLASS	1	1	1	
08	1. 1/2" GLASS	1	1	1	
09	1. 1/2" GLASS	1	1	1	
10	1. 1/2" GLASS	1	1	1	

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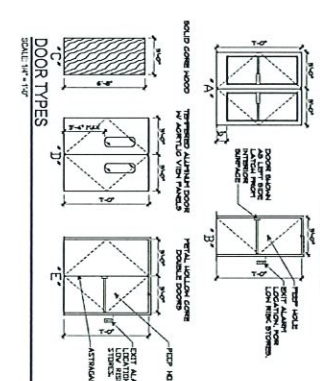
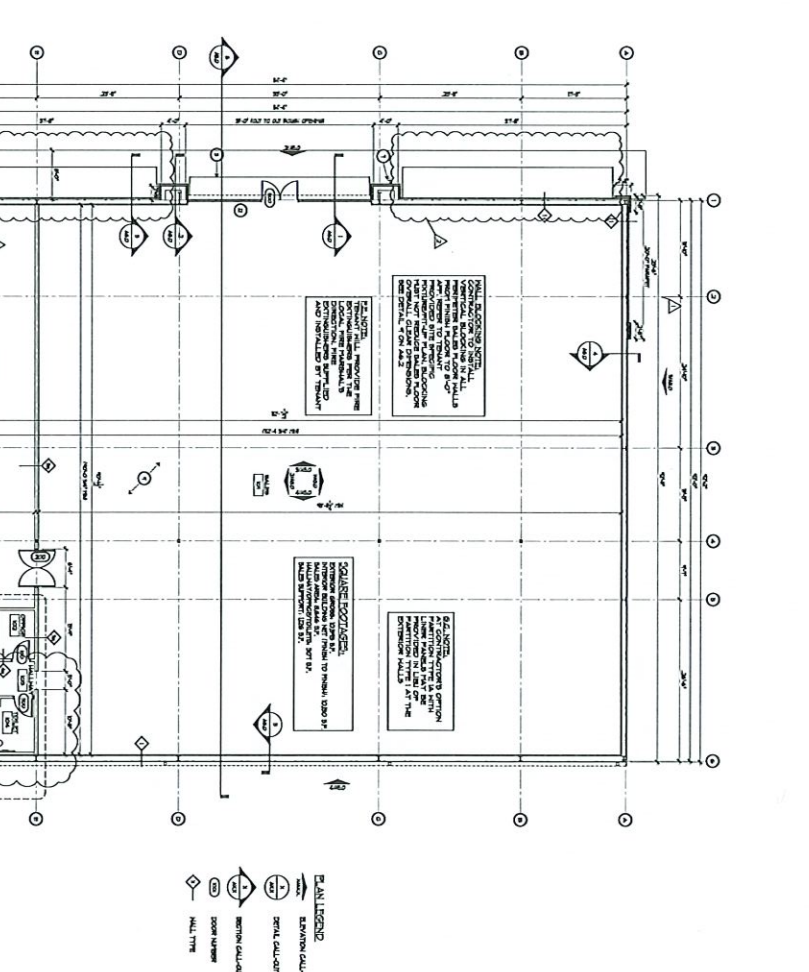
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FLOOR PLAN



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PROJECT INFORMATION

Project Name	306 N. Lake Ave.
Client	FAMILY DOLLAR
Architect	hpd ARCHITECTURE
Structural Consultant	MEC CONSULTANT
Date	10/10/2023
Drawn By	JMM
Checked By	GM
Scale	AS SHOWN
Version	01
Revision	01
Revision	02
Revision	03

A New Retail Location for:

FAMILY DOLLAR

306 N. Lake Ave.
Village of Twin Lakes, WI 53128

hpd ARCHITECTURE

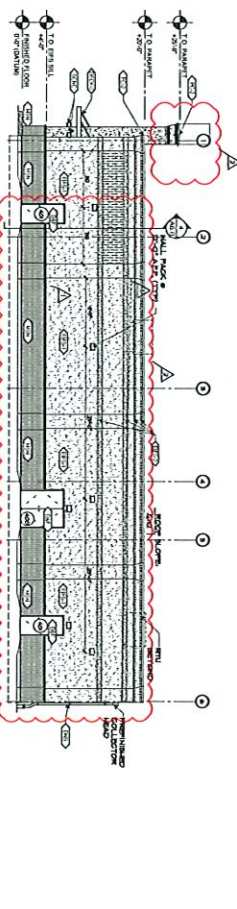
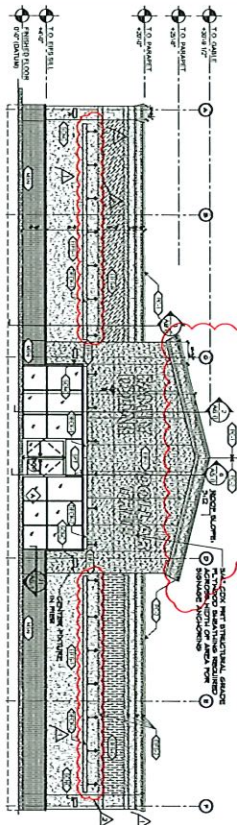
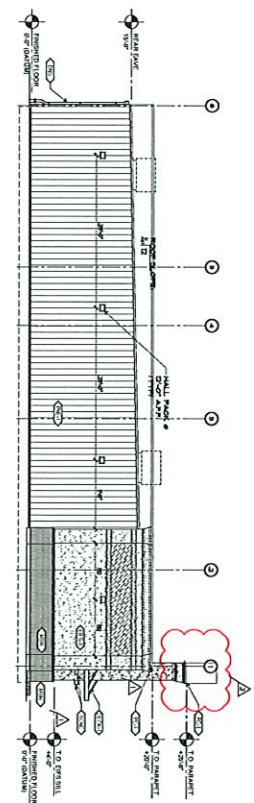
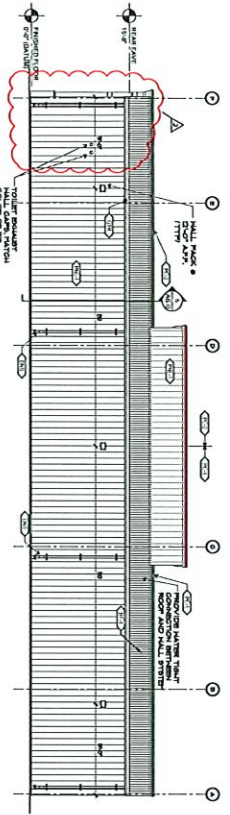
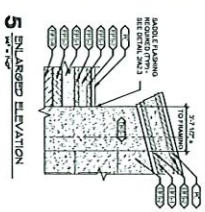
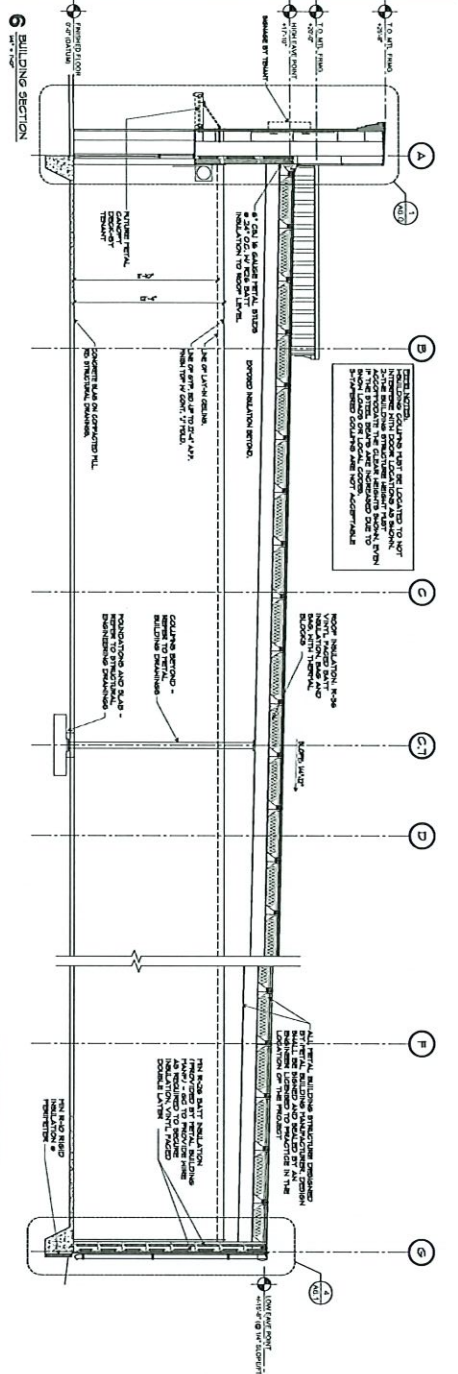
1810 University Ave.
Twin Lakes, WI 53128
Phone: 920.888.1111
Fax: 920.888.1112

MEC CONSULTANT

1810 University Ave.
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Civil Consultant

1810 University Ave.
Twin Lakes, WI 53128
Phone: 920.888.1111
Fax: 920.888.1112



ELEVATION LEGEND			
SYMBOL	TEXT	DESCRIPTION	DETAIL
(1)	1/2\"/>		

GENERAL NOTES: 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS OTHERWISE NOTED. 2. ALL MATERIALS AND FINISHES TO BE AS SHOWN ON THIS SET OF DRAWINGS. 3. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. 4. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 5. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT BUILDING CODES AND REGULATIONS. 6. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT HEALTH AND SAFETY REGULATIONS. 7. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ENVIRONMENTAL REGULATIONS. 8. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT FIRE AND LIFE SAFETY REGULATIONS. 9. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT SOUND AND VIBRATION REGULATIONS. 10. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ENERGY EFFICIENCY REGULATIONS. 11. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ACCESSIBILITY REGULATIONS. 12. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT HISTORIC PRESERVATION REGULATIONS. 13. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT CULTURAL HERITAGE REGULATIONS. 14. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-CORRUPTION REGULATIONS. 15. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-BRIBERY REGULATIONS. 16. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-TRAFFIC INFLUENCE REGULATIONS. 17. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-STATE INTERFERENCE REGULATIONS. 18. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-CYBERSTalking REGULATIONS. 19. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-UNLAWFUL INTERFERENCE REGULATIONS. 20. ALL MATERIALS AND FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ANTI-UNLAWFUL INTERFERENCE REGULATIONS.

A New Retail Location for:

306 N. Lake Ave.
Village of Twin Lakes, WI 53128

Date:	10/10/2022
Drawn by:	JMM
Checked by:	DK
Project No.:	1923
Revision:	1
Author:	JMM
Designer:	JMM
Checker:	DK
Printer:	JMM
Plotter:	JMM
Plot Size:	11x17
Plot Scale:	1:1
Plot Orientation:	Portrait
Plot Color:	Color
Plot Lineweight:	As per drawing
Plot Font:	As per drawing
Plot Title:	As per drawing
Plot Date:	As per drawing
Plot User:	As per drawing
Plot Password:	As per drawing
Plot Security:	As per drawing
Plot Settings:	As per drawing
Plot Comments:	As per drawing
Plot Notes:	As per drawing
Plot Messages:	As per drawing
Plot Alerts:	As per drawing
Plot Errors:	As per drawing
Plot Warnings:	As per drawing
Plot Information:	As per drawing
Plot Help:	As per drawing
Plot About:	As per drawing
Plot Status:	As per drawing
Plot Progress:	As per drawing
Plot Activity:	As per drawing
Plot Events:	As per drawing
Plot Messages:	As per drawing
Plot Alerts:	As per drawing
Plot Errors:	As per drawing
Plot Warnings:	As per drawing
Plot Information:	As per drawing
Plot Help:	As per drawing
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Plot Status:	As per drawing
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Plot Errors:	As per drawing
Plot Warnings:	As per drawing
Plot Information:	As per drawing
Plot Help:	As per drawing
Plot About:	As per drawing

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8.)

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MEMORANDUM

TO: Plan Commission
Village of Twin Lakes

FROM: GRAEF
Larry Witzling, Senior Planner & Urban Designer
Dominic Marlow, Planner & Urban Designer
Alex Halverson, Planner

DATE: January 24, 2023

SUBJECT: Conceptual Review for the proposed Subdivision at 2020 E Lake Shore Drive

A. PURPOSE

Discuss and comment upon a Conceptual Plan from Chris-Tom Development (Owner) and Mark Molinaro Jr (JR2 Investors LLC, Applicant) for a lot combination of two lots for a new two-family (duplex) condominium development at 2020 E Lake Shore Drive. This memorandum is for conceptual review only for the Plan Commission and Village Board to submit comments for consideration by the Applicant. As a result of this feedback, the Applicant may be advised to revise subsequent submittals including a review of a Preliminary Plat. **This is a discussion only item; no formal decision from the Plan Commission is required.**

This conceptual review should consider the following items submitted by the Applicant:

- 2020 E LSD Cover Letter
- 2020 East LSD Concept for parcels #86-4-119-283-4201 and #86-4-119-283-4210

B. BACKGROUND

The Owners & Applicants have proposed the combination of two parcels for a two-family (duplex) condominium with twelve units in six buildings with attached 2-car garages and a separate 10-car garage accessory building. The parcels are located to the east of Lake Shore Drive (CTH "EM") just south of the intersection with Lake Shore Dr., Matthew Ave., and Walnut Rd. (See Figure 1)

The property is currently vacant and includes a stormwater pond to be retained and is heavily wooded. There was a past application to develop 20 units on this property in a mix of 2-unit, 4-unit, and 5-unit buildings and would have required rezoning. The previous application was supported by the Plan Commission but never approved by the Village Board.

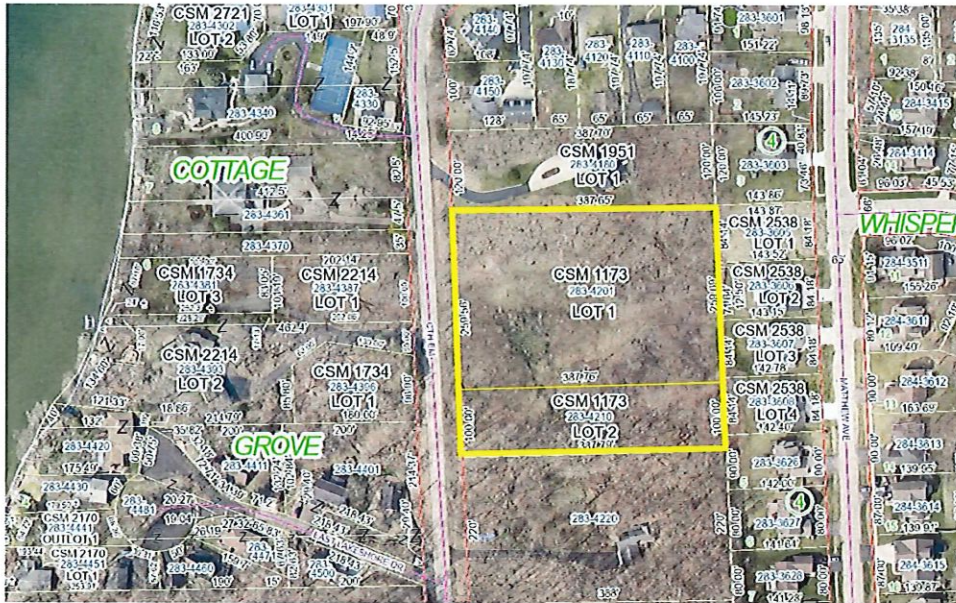
The development proposed by the current Applicant reviewed in this memo would not require rezoning and is less dense than the previously proposed development. Section E of this memo reviews conformance with current zoning.

The proposed development would take place on the following parcels:

- #86-4-119-283-4201 and #86-4-119-283-4210
- The parcel is zoned RES-Residential
- "Single family dwelling, two-family (2) dwellings." Is listed as a Permitted Use in the Residential District (§17.20.010 A.)

Figure 1: Parcels #86-4-119-283-4201 and #86-4-119-283-4210:

Kenosha County Interactive GIS – yellow boundary highlights the parcel included in this proposal.



C. CONCEPTUAL PLAN REVIEW REQUIREMENTS (§16.12.030)

The conceptual plan is intended to provide the Village Building Inspector, Village Plan Commission and the Village Board with an early opportunity to review policy issues relating to the proposed development and any possible adverse effects on the adjacent neighborhood and community. According to the Village’s code, the conceptual plan shall include the following information. Village Planning Consultant’s assessments of the required information in **bold** following each requirement:

- Neighborhood sketch plan, if required – **Not required**
- Graphic scale and north arrow – **Included**
- Project name – **Included “2020 E Lakeshore Drive”**
- Name, address and telephone number of the developer, engineer and architect; parcel number of property and owner's name and mailing address – **Not included**
- Topographic contours of two-foot intervals – **Included, not labeled**
- Lands to be dedicated or served for streets, parks, schools, or other public purposes – **None identified**
- Proposed conceptual landscaping (other than single-family residential development) – **Not included**
- Number of dwelling units per acre – **Included, 3.75 DUA**
- Conceptual building layouts and parking areas for all uses (other than single-family residential development) – **Included**
- Artist's renderings of structures and facilities, floor plans, if available (not required for single-family residential development) – **Included**
- Identification of existing and proposed zoning districts – **Not included, no zoning change proposed**



- Significant environmental features, including without limitation, navigable waters, wetlands, floodlands and woodlands – **Included, existing stormwater pond**
- Public/private street layout pattern, existing and proposed; all roads to be named, existing or proposed; (no new road names to be similar to existing road names) – **None identified, driveway only**
- Lot or parcel layout, existing and proposed including areas and dimensions of each – **Not included, Applicant has confirmed via verbal correspondence they wish to combine the two parcels of the Subject Property into one parcel.**
- Vicinity sketch showing adjacent subdivisions and boundaries of unsubdivided land – **Not included**
- Proposed techniques for handling on-site stormwater, retention/detention facilities – **Included. To be discussed in more detail and should be subject to engineering review**
- Location of existing and proposed sanitary, storm sewer and water facilities (when required) and existing and proposed utility and drainage easements – **Included. To be discussed in more detail and should be subject to engineering review.**
- Land uses, existing and proposed – **Included in “2020 E LSD Cover Letter” submittal**
- Any other information which the divider or the Village Building Inspector, Plan Commission or Village Board believes will be helpful in reviewing the conceptual plan – **Village Planning Consultant is not requesting additional submittals at the time of writing this memorandum.**
 - *The Plan Commission shall determine the need for additional information based on the requirements of Concept Plans.*

D. CONDOMINIUM REVIEW AND APPROVAL

Following Concept Plan Review and Design Review, the Applicant shall submit the proposed Condominium Plat to the Village of Twin Lakes for Approval by the Plan Commission and also to Kenosha County for review and approval upon a properly executed Developer’s Agreement.

E. ZONING REQUIREMENTS

The Applicant has proposed six (6) two-unit condominium buildings with two-car attached garage for each unit for a total of 12 units at 3.75 DUA and a ten-car accessory private garage structure on two (2) parcels #86-4-119-283-4201 and #86-4-119-283-4210 located east of Lake Shore Drive. The Future Land Use of the Property is LC – Elizabeth East (LC: Lake Community).

No zoning change is proposed for this development. The property is currently zoned RES – Residential District. “Single family dwelling, two-family (2) dwellings” is listed as a Permitted Use in the Residential District. The proposed development is hereby reviewed for conformance with the Residential Zoning District:



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Table 1: Dimensional Requirements of the Residential Zoning District (17.20):

(Items in bold appear non-conforming)

RES Residential District	Required:	Proposed:
Minimum Lot Size	10,000 SF (0.23 acres)	138,956 SF (3.19 acres)
Minimum Lot Width	60 Ft	360 Ft
Minimum Setback	25 Ft	~21Ft*
Minimum Side Yard	10 Ft minimum on each side, totaling not less than 25 Ft	~12 Ft (North), ~10 Ft (South), totaling ~22 Ft*
Minimum Rear Yard	25 Ft	~20 Ft from the edge of the private decks*
Lot Coverage Ratio (LCR)	Not more than 25% impervious surface = ~34,700 SF	~40% = ~54,900SF impervious surface shown (~27,000 from buildings, ~27,900 from pavement)*
Accessory Structures Max Footprint	Not more than 3,000 SF on lots of two (2) acres or more	~3,000 SF*

*Note these measurements were taken from a hand drawn plan, and actual dimensions may differ. Applicant should submit additional information demonstrating conformance with the dimensional requirements of the Residential Zoning District during Design Review.

Setback, Side Yards, and Rear Yard (17.20.030):

The Applicant shall provide dimensioned drawings depicting a twenty-five (25) foot setback, twenty-five (25) foot cumulative side yards, and twenty-five (25) foot rear yard.

Lot Coverage Ratio (LCR) (17.20.030):

The Applicant shall demonstrate conformance with the required Lot Coverage Ratio not to exceed 25% coverage. Staff recommends the consideration of permeable surfaces and reduced pavement to achieve required standard. Utilization and/or expansion of the existing stormwater pond to capture excess runoff resulting from excess impervious surface is not recommended.

Accessory Structure (17.12.160):

The Applicant shall provide a floor plan of the accessory private garage structure totaling no more than 3,000 SF.

Compliance with Accessory Building Standards (17.12.160):

Detached accessory structures greater than 2,000 SF in area may be located in a side yard or rear yard, setback 10 feet from the principal structure and 15 feet from any lot line.



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F. FUTURE DESIGN REVIEW

The proposed condominium development will be subject to the Design Review Process following the Concept Plan review. Due to the Sketch Plan's inconsistency with the Zoning Code Requirements, Staff has limited the review of these standards in anticipation of future revisions addressing the concerns in this memorandum. Included below are additional key items which the Applicant may consider before revising drawings and applying for Design Review (Sec. 17.42):

Building Materials: Pre-fabricated metal siding is not permitted on façade areas.

Mechanical Screening: All electrical and air-conditioning structures shall be screened by landscaping or decorative screening which form an integral part of the design.

Building Orientation: All buildings should be situated on the lot to present their most desirable face to the street and, where possible, should be related to building on adjoining lots.

- Due to the potential need to reorient buildings to achieve lot coverage standards, the Applicant may consider a design which faces Lake Shore Drive rather than orients buildings with their rear towards Lake Shore Drive. However, if the woods on the property is preserved to sufficiently maintain screening, this may not be required upon the determination of the Plan Commission.

Landscape screening: All use areas except the building façade shall be screened from the right-of-way.

- The proposed detached ten-car garage may require screening. This is contingent upon the placement of the structure.

Foundation paving/landscaping: The front yard and ¼ of the façade along the side yards shall have a minimum eight (8) foot strip of paved walks and landscaping.

Garbage/Refuse Screening: The storage and screening of garbage and refuse must be described in the plan.



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G. NEXT STEPS

Land Division (Combination) via Certified Survey Map (CSM):

The Applicant is proposing a development on two (2) parcels #86-4-119-283-4201 and #86-4-119-283-4210. The Applicant shall be required to prepare a Certified Survey Map (CSM) meeting all requirements of Title 16 Subdivisions of the Village of Twin Lakes Municipal Code.

Design Review Process:

All condominium projects must undergo the Design Review Process regardless of number of dwelling units. The Design Review standards are included in Sec 17.42 of the Village Code.



Partners in Design
ARCHITECTS

December 23, 2022

Laura Roesslein
Village Administrator
Village of Twin Lakes
Twin Lakes, Wisconsin

Re: 2020 East Lakeshore Drive – Conceptual Development Plan

Dear Ms. Roesslein:

On behalf of JR2 Investors LLC, we are pleased to submit the attached concept plan and information related to the property we have previously discussed at 2020 E. Lakeshore Drive. We are confident we will produce a quality development that will fill a void in the housing market in the greater Twin Lakes area.

We would like to go through the concept plan review with the plan commission and village board for discussion, comment and support for our development. We understand a multi-family development was proposed on this site back in 2007. It should be noted that our proposal significantly reduces the proposed density from the 2007 proposal, does not require rezoning and has taken the staff comments from the previous proposal under consideration and incorporated them into our plan.

The details of our proposed development area as follows:

- Six 2-unit condominium buildings with 2-car attached garage for each unit.
- Total of 12 units or 3.75 units per acre density.
- Current underlying zoning district is residential which allows 1 and 2 family structures – therefore no rezoning is being requested.
- Project will be developed under a Planned Development District
- Existing stormwater pond has sufficient capacity to accommodate proposed development. We will also install the necessary controls to address the water runoff from the residential subdivision to the west.
- 10 independent garage units – these units will be made available to the condo owners only for additional storage given that the garages attached to each unit will not accommodate much storage.

The site topography offers some challenges and opportunities for this development. We are confident we can grade the site to allow for well appointed outdoor space and private patio areas for each condo. We anticipate the units on the east side of the private drive will have the ability to include a partially exposed or full walk out basement.

The site is also heavily wooded. We intend to maintain, based on grading requirements, as many mature trees as possible and further enhance the development with well appointed landscaping around each building.

**Partners in Design
Architects, Inc.**

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December 23, 2022

**Partners in Design
Architects, Inc.**

In addition to the conceptual site plan, we have attached a site plan exhibit and an exhibit with a conceptual floor plan and elevations. We realize that the conceptual floor plan and elevations do not fully match the site plan. Note that the intention is to give you a fee for what we intend as the look of the buildings and the final site configuration and engineering will drive the final footprint and layout of the units.

We look forward to working with you to see this project through to fruition. We are excited to proceed as quickly as possible.

Sincerely,



Mark A. Molinaro Jr., AIA, ALA, LEED AP

cc: Bonnie Schaeffer – Twin Lakes Zoning Administrator

Bob Lee – JR2 Investors LLC

December 23, 2022

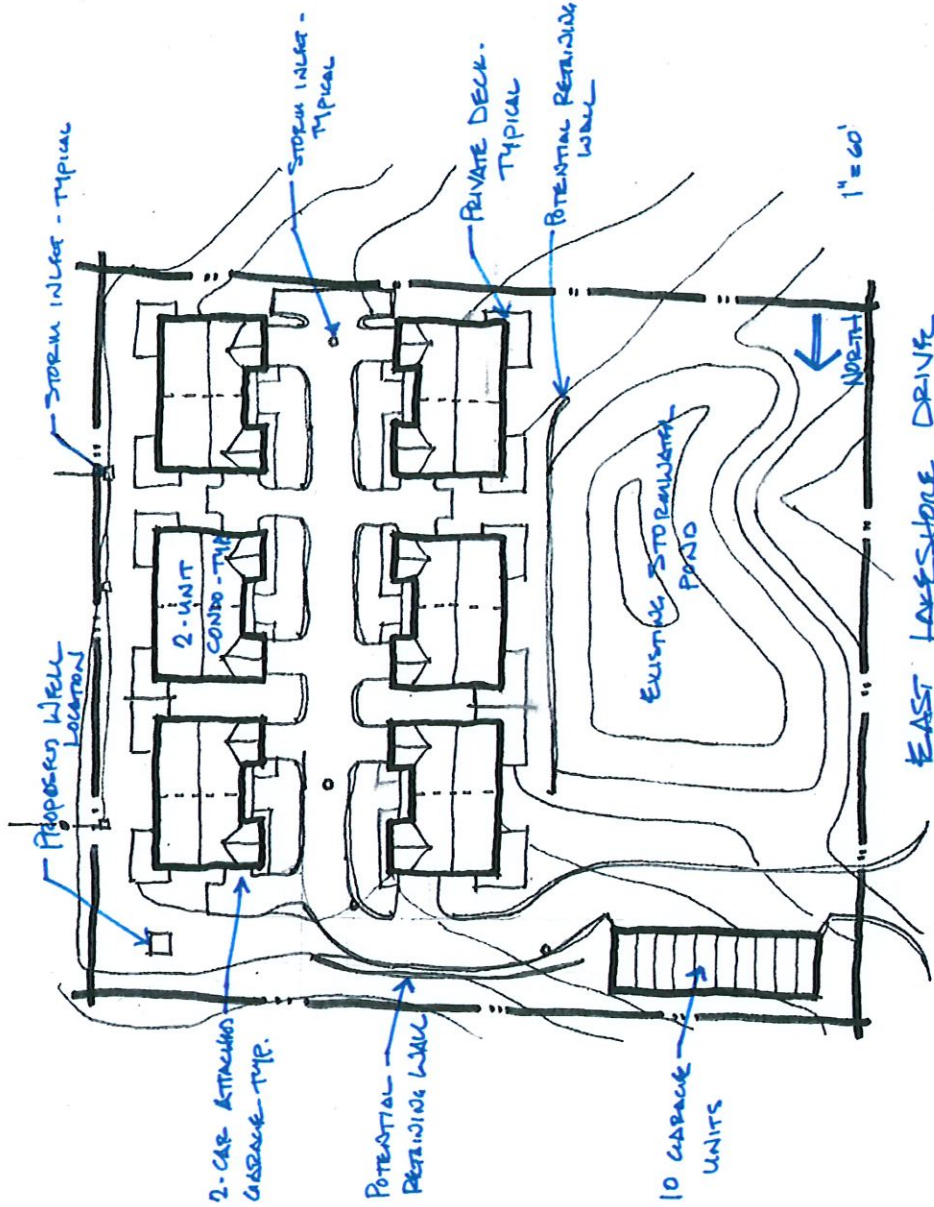
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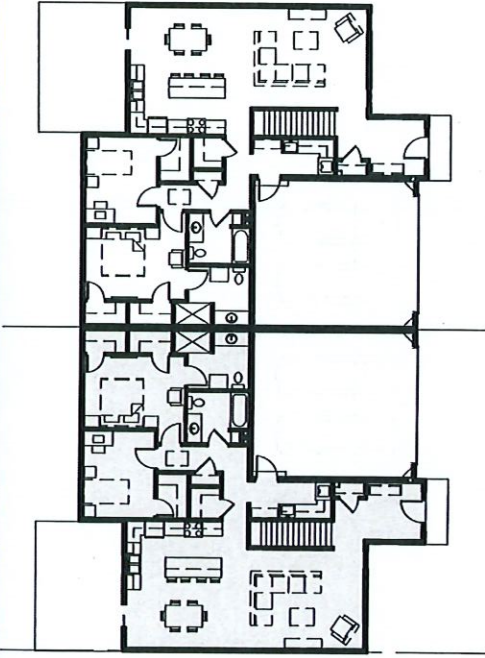
Sincerely,

[TYPE NAME AND ADD SIGNATURE IF NECESSARY]

PROJECT DETAIL

- 3.2 ACRE SITE
- (6) 2 UNIT RESIDENTIAL BUILDINGS
 - 1400-1600 SF PER UNIT
 - 2 CAR ATTACHED GARAGE
 - PRIVATE PATIO
 - WALK OUT LOWER LEVEL
 - WHERE POSSIBLE
 - COMMON WELL
- (10) INDEPENDENT GARAGE UNITS
- CONDOMINIUM ASSOCIATION





Twin Lakes Residential
Exhibits - 2020 East Lakeshore Drive

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JR2 Investor LLC

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