

VILLAGE OF TWIN LAKES

105 East Main Street P O Box 1024 Twin Lakes, Wisconsin 53181 Phone (262) 877-2858 Fax (262) 877-4019

AGENDA

PLAN COMMISSION MEETING WEDNESDAY, DECEMBER 14, 2022 at 6:30pm VILLAGE HALL

- 1. Call to order
- 2. Pledge of Allegiance
- 3. Roll Call
- 4. Motion to approve Plan Commission minutes from August 3, 2022.
- 5. Conceptual Plan Review for Family Dollar/Dollar Tree on parcels #85-4-119-211-4880 and #85-4-119-211-4890.
- 6. Adjourn

Roll Call:

Destree, Todd Busse, Bill Karow, Aaron Perl, Ken Richter, Bran Smith, Carl Skinner, Howard-Chair

LEGAL DISCLAIMER: THE BOARD MAY AT ANY TIME MAKE A MOTION TO GO INTO CLOSED SESSION PURSUANT TO SEC. 19.85(1)(A) AND 19.85(1)(G), WIS. STAT., DELIBERATING CONCERNING A CASE SUBJECT TO A QUASI-JUDICIAL HEARING BEFORE THIS GOVERNMENTAL BODY; AND, CONFERRING WITH LEGAL COUNSEL REGARDING STRATEGY AS TO LIKELY LITIGATION.

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE VILLAGE BOARD AND/OR LAKE PROTECTION AND REHABILITATION DISTRICT BOARD OF COMMISSIONERS OR OTHER RELATED GOVERNMENTAL BODIES MAY BE PRESENT AT THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THEY HAVE DECISION MAKING RESPONSIBILITY. NO ACTION WILL BE TAKEN BY ANY GOVERNMENTAL BODY AT THIS MEETING OTHER THAN THE GOVERNMENTAL BODIES SPECIFICALLY REFERRED TO IN THIS INSTANT NOTICE. THIS CONSTITUTES A MEETING OF THE VILLAGE BOARD PURSUANT TO STAT EX REL BADKE VS. GREENDALE VILLAGE BOARD, 173 WIS 2D 553, 494 NW 2D 408 (1993), AND MUST BE NOTICED AS SUCH.

PLAN COMMISSION MEETING MINUTES August 3, 2022 VILLAGE HALL @ 6:30PM *wav file available indefinitely*

transcribed by Julie Harms

unapproved minutes' subject to approval

CALL TO ORDER – 6:30 PM /PLEDGE OF ALLEGIANCE/ROLL CALL: Busse, Destree, Karow (6:40pm), Smith, and Richter - present, with Skinner presiding. Laura Roesslein, Village Administrator, and Julie Harms, Deputy Clerk also present.

MOTION BY SKINNER, SMITH, CARRIED, TO APPROVE PLAN COMMISSION MINUTES FROM JUNE 22, 2022.

MOTION BY SKINNER, DESTREE, CARRIED, TO RECOMMEND TO THE VILLAGE BOARD A ROAD VACATION FOR A PORTION OF FORMER CTH F THAT WAS THE WEST SPUR OF THE "TRIANGLE" (LAKE DR.) CONNECTING CTH F AND CTH EM. THIS SECTION WILL BE VACATED AND SPLIT EQUALLY BETWEEN THE TWO ADJACENT PROPERTY OWNERS. Skinner stated this was just clean-up from the prior Pond Rd/Karow Rd vacation.

MOTION BY SKINNER, SMITH, CARRIED, TO RECOMMEND THE VILLAGE BOARD A CSM FOR:

- LOT 1: 469 WALDECK DR. PARCEL #86-4-119-282-2355 / 2353
- LOT 2: 465 WALDECK DR. PARCEL #86-4-119-282-2351
- LOT 3: 461 WALDECK DR. PARCEL #86-4-119-282-2345
- LOT 4: 445 WALDECK DR. PARCEL #86-4-119-282-2330 / 2335 / 2340

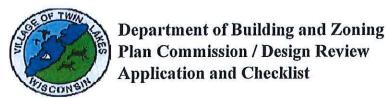
Jim Condon, Engineering Consultant, from Condon & Associates, 5415 Business Pkwy, Ringwood, IL, and Edward Hinz of 441-465 Waldeck Dr, Twin Lakes, WI addressed the members and proposed a CSM to take 7 lots and make into 4 total. One lot with a home would be remodeled and one would have a new home built. Karow, Destree, Busse and Skinner all stated they had concerns about the steep incline and how runoff would be prevented to the lake. Condon stated proper engineering and drainage would be submitted with plans for the Village Engineer to review. Hinz also stated he is well aware of the steep incline and drainage issues and that they would all be addressed in the plans. He has owned the property since 1979 and know where the water goes. Condon stated that the homes are set back more than enough so that runoff would be slowed by a long grassy area. There is also an easement for a pedestrian pathway for the current lot owners to use.

MOTION BY KAROW, RICHTER, CARRIED, TO RECOMMEND THE VILLAGE A CONDITIONAL USE PERMIT FOR AN ACCESSORY STRUCTURE TO EXCEED THE 3000 SQ. FT. ALLOWABLE – 2026 360TH AVE-PARCEL #86-4-119-273-3011 WITH THE CONDITIONS AND STIPULATIONS THAT ELLIS BORDER, THE BUILDING INSPECTOR, REVIEWS THE LOCATION OF THE PROPOSED ACCESSORY STRUCTUREAND BREEZEWAY TO MAKE SURE FUTURE SETBACKS FOR FUTURE LOT 2 ARE ACCEPTABLE FOR THE LOCATION OF THE BUILDING. Cheree' Molitor was back requesting a Conditional Use Permit to exceed the 3000sqft allowable and build an additional building attached by a breezeway for an approximate total of 5000sqft. Karow, Destree and Skinner advised Molitor to make sure she had all her measurements, location and setbacks for current and future plans exact before submitting for a permit so that they were not revisiting this again.

MOTION BY SKINNER, SMITH CARRIED, TO ADJOURN AT 7:22PM

DISTRIBUTION

Administrator
Clerk
Treasurer
Plan Commission
Building Inspector
Pres/Trustees



Vacant

Commercial

Current Use:

Existing Zoning:

Section 17.42.020 of the Village Code lists all projects that must go before the Plan Commission and undergo a Design Review. Please read this section to determine if your project must go through this process. You may also be required to complete this application if the Building Inspector, upon review of your project has determined that a Design Review is necessary.

your project, has determined that a Design Review is necessary. Please Print Clearly: **Legal Property Owner:** Dino J Kallianis & Ioannis Korakakis Name: Mailing Address: City State Zip Applicant/Petitioner: Andy Gabbert, PLA Name: 8653 Penrose Ln, Lenexa, KS 66219 Mailing Address: City State Zip 913.314.6967 Telephone #: (Area Code) Fax Number: agabbert@ric-consult.com E-Mail Address: **Property Information** No Formal Address Found - N. Lake Ave., Twin Lakes, WI 53181 Property Address: City Zip 211-4880 & 211-4890 Parcel Number: General 211-4880 & 211-4890 Project Location: Proposed Retail Store with Parking Project Use:

Next Steps:

Before submitting materials to the Plan Commission/Design Review Board, please follow the steps below:

- 1.) You may schedule a meeting with the Building Inspector to review your proposed project plans: 262.877.3700 Tuesdays and Thursdays, 12:30pm-2:00pm.
- 2.) Submit required plans and monies 30 days prior to the next scheduled Plan Commission/Design Review meeting. Plan Commission/Design Review meets the fourth Wednesday of each month at 6:30PM at the Village Hall, 108 E. Main Street, unless rescheduling is needed due to availability. All required paperwork must be submitted before the project will be placed on the agenda.

"1	Next Plan Commission Date:	
3.) Submit 19 copies of the plans. Anythi	ning larger than letter-sized paper will need to be folded for mailing purpose	es

Plan

The des important that you

n Commission / Design Review Checklist ign review plan must include the following information. For more detailed specifications for the different aspects of your project, it is review 17.42.040 of the Village Code available at www.villageoftwinlakes.net/documents/village-code/
X Drawing of the site plan and/or survey. Must be drawn to a recognized engineering scale, with graphic scale and north arrow
X Name, address, e-mail, and telephone number of the developer, engineer, or architect
X Environmental features of the property
X Artist renderings of structures, signs, elevations of all 4 sides, and photos
X Floor plans
X Examples of possible building materials
X Location of utilities, gas meter, electric transformer, HVAC equipment, dumpsters, etc.
XLandscaping
X Fire protection
X Storage and screening of garbage and refuse
X Snow removal areas and procedures
X Sign rendering including the following: Height Location Light wattage Illumination
X Proposed techniques for on-site stormwater retention / detention
X Parking lot layout
X The type, size, and location of existing and proposed buildings and their uses
Written and signed statement by the legal owner authorizing the agent to act on their behalf
X Any other information helpful in reviewing the Design Review Plan

Are you requesting zoning changes?** Yes No_X_	
If yes, fill in the fields immediately below:	
Current Zoning: Proposed Zoning:	
** Zoning change requests are \$325	
Village staff may determine that an escrow account is to be set up with the Village Treasurer to a Applicant/petitioner is hereby duly advised that the engineer and/or attorney or any professional Lakes may be employed for this project, issue, or matter. Escrow money required from the appliance professional fees and any balance will be returned within 45 days after the matter is complete.	assistance as deemed necessary by the Village of Twin cant will be put into an account for use in the payment of
To accompany this application: \$250.00 fee for Plan Commission/Design Review appearance, a completed paperwork.	dditional fees and escrow money as noted below, and all
Owner's Signature:	
Applicant/Petitioner's Signature:	
Date: 10/11/22	
Required Fees	
Plan Commission/Design Review Appearance Fee (Village Code 3.06.010 (D), 1 & 2):	\$
Zoning Change Request Fee: \$325 if applicable (Municipal Code 17.44.050 (C)):	\$
Escrow, as required by Village Administrator and Building Inspector:	<u>\$_3000.00</u>
Total Amount Due:	_{\$} 250.00
Developer's Agreement Required? Yes X No	
Owners Consent	
Comes now &	(owner(s)) who being duly
Comes now & sworn upon his/her oath, does state that he/she is the overland within above application.	wner of the property/parcels as
described within above application.	
Signatura	Data
Signature:	Date:
Signature:	Date:

Site Benchmarks:

BM #A:

Chiseled "T" in Sidewalk Elev. = 804.69

Chiseled "+" in Sidewalk Elev. = 804.94

Legal Description:

PARCEL 1:

PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A CONCRETE MONUMENT LOCATED AT THE SOUTHEAST CORNER OF LOT 16 OF JOHN J HUNT'S TWIN LAKES SUBDIVISION AS PLATTED AND RECORDED; THENCE NORTH 30° 23' EAST 135.05 FEET TO A POINT IN THE CENTER LINE OF LAKE AVENUE, SAID POINT MARKS THE PLACE OF BEGINNING OF PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE NORTH 89° 56' EAST 320.58 FEET TO A POINT, THENCE NORTH 61° 46' EAST 97.50 FEET TO A POINT IN THE EAST LINE OF SAID SECTION, THENCE NORTH 01° 09' WEST ON THE EAST LINE OF SAID SECTION 48.60 FEET TO A POINT, THENCE SOUTH 89° 56' WEST 373.14 FEET TO A POINT IN THE CENTER LINE OF LAKE AVENUE, THENCE SOUTH 18° 51' WEST ALONG THE CENTER LINE OF LAKE AVENUE 100.00 FEET TO A POINT AND THE PLACE OF BEGINNING, EXCEPTING THEREFROM THAT PART CONVEYED TO VILLAGE OF TWIN LAKES BY DEED DATED SEPTEMBER 3, 1980 AND RECORDED SEPTEMBER 05, 1980 IN VOLUME 1079 OF RECORDS, PAGES 956-957, AS DOCUMENT NO. 670787, AND LYING AND BEING IN THE VILLAGE OF TWIN LAKES, COUNTY OF KENOSHA AND STATE OF

WISCONSIN, AND AS DESCRIBED AS FOLLOWS:
A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 19 EAST,
VILLAGE OF TWIN LAKES, KENOSHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS, TO-WIT: THE WESTERLY 35
FEET OF -- COMMENCING AT THE SOUTHEAST CORNER OF LOT 16 OF JOHN J. HUNT'S TWIN LAKES SUBDIVISION;
THENCE NORTH 30° 23' EAST, 135.05 FEET TO THE CENTERLINE OF LAKE AVENUE AND THE PLACE OF BEGINNING;
THENCE NORTH 89° 56' EAST, 320.58 FEET; THENCE NORTH 61° 46' EAST, 97.50 FEET; THENCE NORTH 1° 09'
WEST, 48.60 FEET; THENCE SOUTH 89° 56' WEST, 373.14 FEET TO THE CENTERLINE OF NORTH LAKE AVENUE;
THENCE SOUTH 18°51' WEST, ALONG SAID CENTERLINE 100 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

PART OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 19 EAST OF THE FOURTH PRINCIPAL MERIDIAN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A CONCRETE MONUMENT LOCATED AT THE SOUTHEAST CORNER OF LOT 16 OF JOHN J HUNT'S TWIN LAKES SUBDIVISION, AS PLATTED AND RECORDED, THENCE NORTH 30° 23' EAST 135.05 FEET TO A POINT IN THE CENTER OF LAKE AVENUE, THENCE NORTH 18° 51' EAST ALONG THE CENTER LINE OF LAKE AVENUE 100 FEET TO A POINT AND THE PLACE OF BEGINNING OF PARCEL OF LAND HEREINAFTER DESCRIBED, THENCE CONTINUE NORTH 18° 51' EAST ALONG THE CENTER LINE OF LAKE AVENUE 103 FEET TO A POINT; THENCE SOUTH 89° 59' EAST 337.91 FEET TO A POINT IN THE EAST LINE OF SECTION 21, THENCE SOUTH 01° 09' EAST ON THE EAST LINE OF SECTION 21, 96.96 FEET TO A POINT, THENCE SOUTH 89° 56' WEST 373.14 FEET TO A POINT IN THE CENTER LINE OF LAKE AVENUE AND THE PLACE OF BEGINNING, EXCEPTING THEREFROM THAT PART CONVEYED TO THE VILLAGE OF TWIN LAKES BY DEED DATED SEPTEMBER 3, 1980 AND RECORDED SEPTEMBER 23, 1980 IN VOLUME 1081 OF RECORDS, PAGES 464-465, AS DOCUMENT NO. 671623, LYING AND BEING IN THE VILLAGE OF TWIN LAKES, COUNTY OF KENOSHA

AND STATE OF WISCONSIN, AND AS DESCRIBED AS FOLLOWS:
A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 19 EAST,
VILLAGE OF TWIN LAKES, KENOSHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS, TO-WIT: THE WESTERLY 35
FEET OF -- COMMENCING AT THE SOUTHEAST CORNER OF LOT 16 OF JOHN J. HUNT'S TWIN LAKES SUBDIVISION;
THENCE NORTH 30° 23' EAST, 135.05 FEET TO THE CENTERLINE OF LAKE AVENUE; THENCE NORTH 18° 51' EAST,
ALONG SAID CENTERLINE 100 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID CENTERLINE
103 FEET; THENCE SOUTH 89° 59' EAST, 337.91 FEET; THENCE SOUTH 1° 09' EAST, 96.96 FEET; THENCE SOUTH 89°
56' WEST, 373.14 FEET TO THE POINT OF BEGINNING.

FLOOD PLAIN NOTE

According to the flood insurance rate map of the County of Kenosha, Community Panel No.55059C0136D, effective date of June 19, 2012, this site falls in Zone X (Areas of minimal flood hazard).

UTILITIES NOTE

The information concerning locations of underground utilities shown hereon which are not visible from the surface, has been taken from the records and field locations of the various utility companies and has not been field verified by this company. These locations are not to be construed as accurate or exact.

EMERGENCY CONTACTS

(262) 877-2373

Fire Department of Siren
236 East Main Street Twin Lakes, WI 53181
Stan Clause, Fire Chief
911

Police Department of Siren
920 Lance Drive Twin Lakes, WI 53181
Chief Adam Grosz
911
(262) 877-9056

UTILITIES

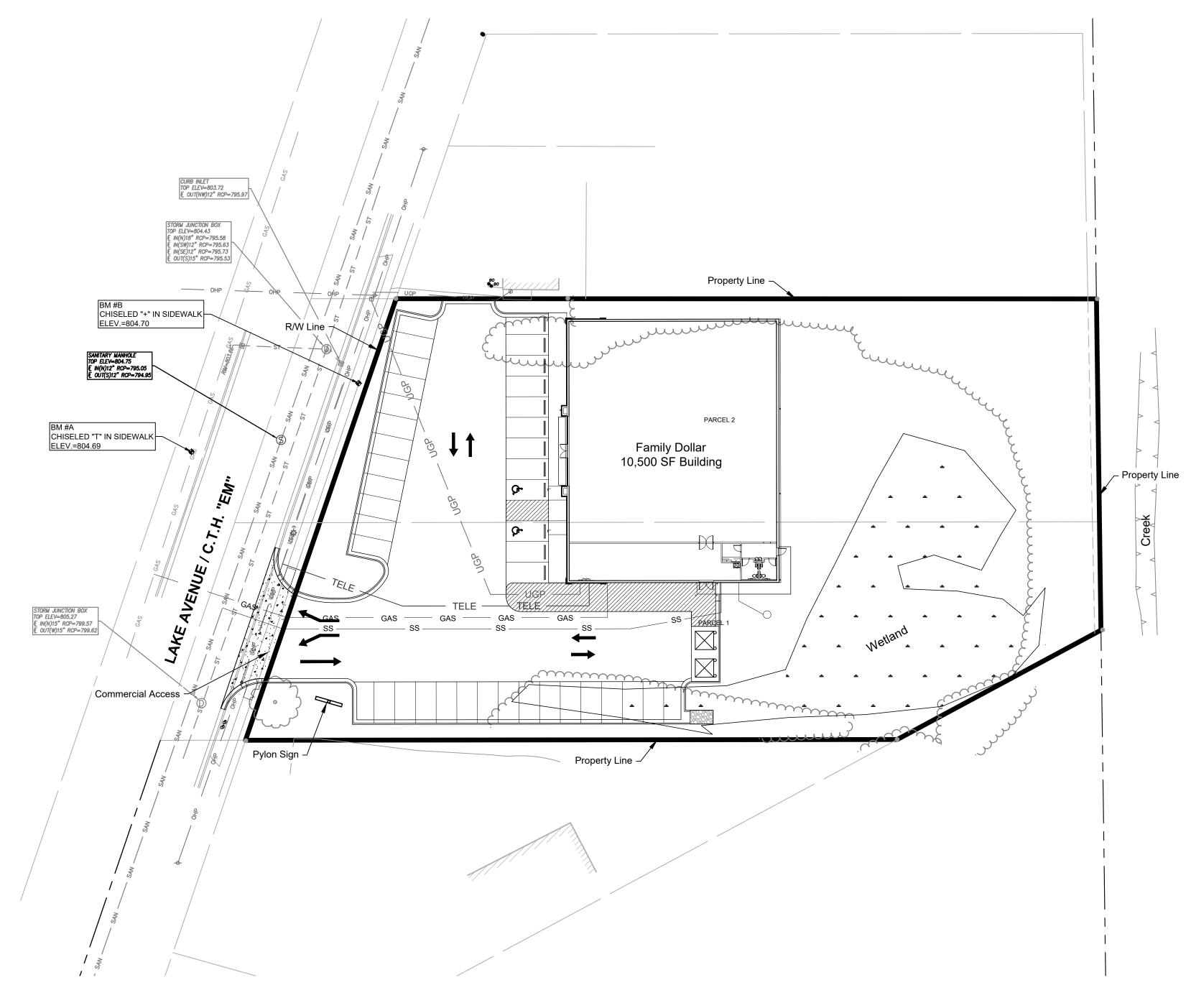
Twin Lakes - Sanitary Sewer 901 Gatewood Drive, Twin Lakes (262) 877-3404

Complete Water Solutions
851 W Main St, Twin Lakes, WI 53181
(855) 787-4200
info@complete-water.com

Pioneer Telephone - Telecommunications 851 W Main St, Twin Lakes, WI 53181 (800) 808-9000

Alliant Energy - Power / Gas (800) 255-4268







Address:
306 N. Lake Ave., Twin Lakes, Kenosha County, Wisconsin.

Setbacks:

Front: 50' Side: 20' Rear: 20'

Zoning: C-2 Highway Commercial

LEGEND

Existing Section Line Proposed Right-of-Way Existing Right-of-Way Line Proposed Property Line Existing Lot Line Proposed Lot Line Existing Easement Line Proposed Easement Existing Curb & Gutter Proposed Curb & Gutter Proposed Sidewalk Existing Sidewalk _____ Existing Storm Sewer Proposed Storm Sewer Existing Storm Structure Proposed Storm Structure ____ Existing Waterline Proposed Fire Hydrant **Existing Gas Main** Proposed Waterline _____ Existing Sanitary Sewer Proposed Sanitary Sewer Existing Sanitary Manhole Proposed Sanitary Manhole _____ Proposed Contour Major Existing Contour Major _____ Proposed Contour Minor __ __ Existing Contour Minor ----- Future Curb and Gutter Utility Easement Sanitary Sewer Easement Access Easement

Temporary Easement

Drainage Easement

Consultant:
Andy Gabbert
8653 Penrose Lane Lenexa, KS 66218
agabbert@ric-consult.com
(913) 333-3880

Prepared For:
USFP, LLC
Mike Belew
4706 Broadway, Suite 240 Kansas
City, MO 64112
mbelew@usfpco.com
www.uspfco.com
(816) 645-8963

NO. DATE REVISION

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Sheet C0.0

ADA ACCESSIBLE ROUTE NOTES

- 1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
- Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 2%.
- The minimum width for a linear segment of accessible route shall be 36 inches. 5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches
- 6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
- Ramp runs shall have a running slope not steeper than 1:12. Ramp runs with a rise greater than 6 inches shall have handrails.
- 9. Ramp landings with a maximum slope of 1:48 shall be provided before and after ramp runs. 10. The maximum rise of a ramp run shall be 30 inches.
- 11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20. 12. Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear
- 13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street
- crossings and refuge islands 14. Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum
- slope in all directions. 15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

LAYOUT & PAVING NOTES

- All construction shall conform to the City of Twin Lakes minimum design standards.
- Contractor shall keep a full set of City of Twin Lakes Standard Details onsite at all times. 3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies
- to the architect/engineer prior to beginning work.
- 4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, and repair contractor caused damage according to current local standards and at the contractor's expense. Coordinate all construction with the appropriate utility company.
- 5. The contractor shall comply with all local codes, obtain all permits, and pay all fees prior to beginning work. 6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City Public Works for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
- 7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary. Adjust all utilities prior to installation of pavement.
- 8. The contractor shall protect all trees to remain, in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the drip lines of trees or outside the limit of
- 9. Concrete walks and pads shall have a broom finish. All concrete shall be 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
- 10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
- 11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
- 12. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion. 13. For all asphalt pavement, the contractor shall have no more than 30% recycled material in the base course and no recycled material in the surface course.

PAVEMENT MARKING AND SIGNAGE NOTES

- 1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be
- furnished at locations shown on plans. 2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform
- 3. Traffic control and pavement markings shall be painted with a white Sherwin Williams TM2125 HOTLINE Fast Dry or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°f and the ambient air temperature shall not be less than 60°f and rising. Two coats shall be applied.

WETLAND NOTES

- Wetland areas have been identified on the site. These areas are not to be disturbed.
- 3. Orange construction fencing to be put in place as a barricade to protect the wetlands from construction

- All construction shall conform to the City's minimum design standards.
- Spot Grades shown herein shall govern over finished grades. All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD). 4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a
- Registered Land Surveyor licensed in the State of Wisconsin, at the contractor's expense. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, streetlight and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the
- latest City standards and to the City's satisfaction. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the
- right-of-way, or adjacent properties to original or better condition. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
- 8. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities 9. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public
- Works Department, in addition to all other permits. 10. All work shall be confined within easements and/or construction limits as shown on the plans.
- 11. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line. 12. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
- 13. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Contractor is responsible for the cost of utility relocations unless otherwise indicated on the plans.

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one feet (1') contour intervals, unless otherwise noted. Proposed contours and elevations shown represent approximate
- CLEARING AND GRUBBING: Prior to the start of grading and earthwork, the areas to be graded shall be stripped of all vegetation, organic matter, and topsoil, to a minimum depth of four inches (4") or as otherwise directed by the Geotechnical Engineer. Stripping materials shall not be incorporated into structural fills.
- Topsoil materials shall not be used in building and pavement areas. TOPSOIL: Prior to the start of grading, the contractor shall strip all topsoil from areas to be graded and stockpile at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6")
- and in accordance with specifications for landscaping. 4. SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proof rolled and approved under the direction of the Geotechnical Engineer or his representative. 5. proof rolling: Prior to the placement of new fill material, the existing subgrade shall be proof rolled and
- approved under the direction of the Geotechnical Engineer. Unsuitable areas identified by the proof rolling areas shall be undercut and replaced with controlled structural fill or treated with fly ash per the Geotechnical
- 6. EARTHWORK: A. GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. B. SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill. C. FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic
 - matter, topsoil, and debris. All fill required for project shall be provided by the Contractor. Material Shall be pre-approved by the Engineer prior to placement. D. EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). Fill material shall be placed and compacted in horizontal lifts not exceeding nine inched
- (9") (loose fit measurement), unless otherwise approved by the Geotechnical Engineer. E. COMPACTION REQUIREMENTS: Earth fill material shall be placed and compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall be within a range of -2% to 3% above the optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the
- earth fill shall be hand compacted with small vibrating rollers or mechanical tampers. TESTING AND INSPECTION: Testing and inspection services required to make tests required by the specifications and to observe the placement of fills and other work performed on this project shall be provided by a commercial testing laboratory (Geotechnical Engineer) selected by the owner. The cost of
- testing will be the owner's responsibility. SEEDING: All areas disturbed by earthwork operations in the right-of-way shall be seeded. 9. Recommendations within the project geotechnical report shall supercede all earthwork notes.

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as Shown on these plans is based on records of the various utility Companies, und where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate and/or remove all
- existing utilities which conflict with the proposed improvements shown on the plans. 2. The construction of storm sewers on this project shall conform to the requirements of Kenosha County, Twin Lakes Technical Specifications and Design Criteria.
- 3. The contractor shall field verify the exact location and elevation of the existing storm sewer locations and the existing elevations at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans. The contractor shall contact the
- design engineer. No pipes shall be laid until direction is received from the design engineer. 4. It will be the contractors responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to
- the manholes and boxes. 5. Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of the curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100'
- max. spacing and at all bend points. Do not connect roof drains directly to storm sewer pipes. 6. The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, back flow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system, if not furnished or installed by the Board of Public Utilities. Coordinate with the Board of Public Utilities. All costs associated with the complete water system for the building shall be the
- responsibility of the contractor. All work shall conform to the requirements of Kenosha County, Twin Lakes. 7. The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the building to the public line. The contractor shall refer to the architectural plans for specific locations and elevations of the service lines of the building connection. All work shall conform to the requirements of Twin
- 8. The contractor is responsible for securing all permits, bonds and insurance required by the contract documents, Twin Lakes, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by the construction documents. The cost for all permit
- bonds and insurance shall be the contractors responsibility and shall be included in the bid for the work. 9. By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- 10. The contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone and gas service from a point of connection from the public utility lines to the building structure. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- 11. All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- 12. Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line. 13. Storm sewer roof drains(st) shall be as follows (unless otherwise shown on plans).
- -PVC SDR 35 per ASTM D3034, for pipes less than 12' deep. -PVC SDR 26 per ASTM D3034, for pipes 12' to 20' deep. 14. Contractor shall maintain a minimum of 72" of cover on all waterlines. All water line joints are to be
- mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to the Board of Public Utilities specifications for commercial services.
- 15. All waterlines shall be kept ten feet (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, an 18" vertical clearance (outside edge of pipe to outside edge of pipe) of the waterline above the
- 16. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of the crossing (or encased in concrete the same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance. Meeting requirements ANSI A21.10 or ANSI 21.11 (AWWA C151)(Class 50).
- 17. All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work. 18. All necessary inspections and/or certifications required by codes and/or utility service companies shall be
- performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications 19. Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated
- conduit requirements. Coordinate with Owner that all required conduits are in place and tested prior to 20. When a building utility Connection from site utilities leading up to the building cannot be made immediately,

temporarily mark all such utility terminations.

GENERAL NOTES

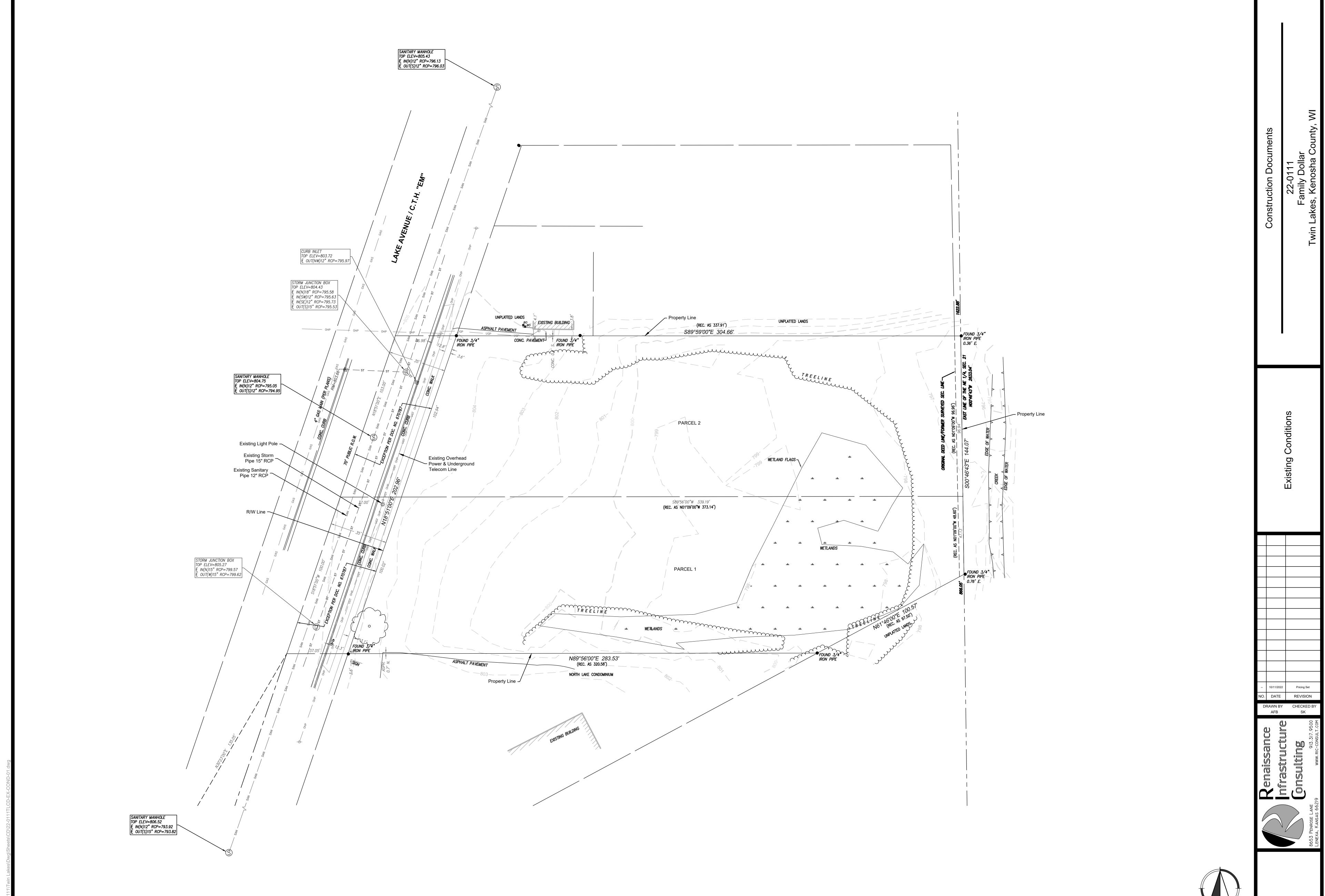
- 1. All work in public easements and right of way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of Twin Lakes, Kenosha County, WI. If any general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers, of Twin Lakes, Kenosha County, WI, the Cities standards shall override.
- All traffic control shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD). 3. The contractor is responsible for the protection of all property corners and section corners. Any property
- corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Wisconsin, at the contractor's expense. 4. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins,
- signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction. 5. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the
- prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition. 6. The contractor shall remove existing trees and shrubbery within the right-of-way adjacent to future
- thoroughfare improvements. 7. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on
- the plans or if specific written approval is granted by the City. 8. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities
- Act (ADA) and Twin Lakes, Wisconsin sidewalk details. 9. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public
- Works Department, in addition to all other permits. 10. All work shall be confined within easements and/or construction limits as shown on the plans.
- 11. Any existing and/or temporary storm sewer pipes and box culverts to be abandoned in place shall be grouted using a slurry grout mixture meeting a 7-day compressive strength of 100-150 psi. The slurry grout mixture of fly ash, cement, fine aggregate, forming agents and water shall be approved by the City and shall
- possess adequate flow characteristics to fill all voids. 12. All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor
- 13. The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and
- other features not designated for removal. The contractor shall repair all damages at his expense. 14. By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- 15. The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the
- right-of-way shall be in conformance with the City Traffic Control Requirements. 16. Geogrid, footings, or other elements of the retaining wall(s) cannot encroach into the right of way, public
- easements, or adjacent private property. 17. All building and life safety issues shall comply with the 2021 International Fire Code (or currently adopted
- edition) and local amendments as adopted by Twin Lakes, Wisconsin 18. Contractor shall be responsible for obtaining all permits including land disturbance, right-of-way, hauling,
- etc., with Public Works prior to construction. 19. Contractor shall restore all disturbed right-of-way upon project completion

20. Prior to construction, contractor shall install pre-construction erosion control measures.

EROSION CONTROL NOTES

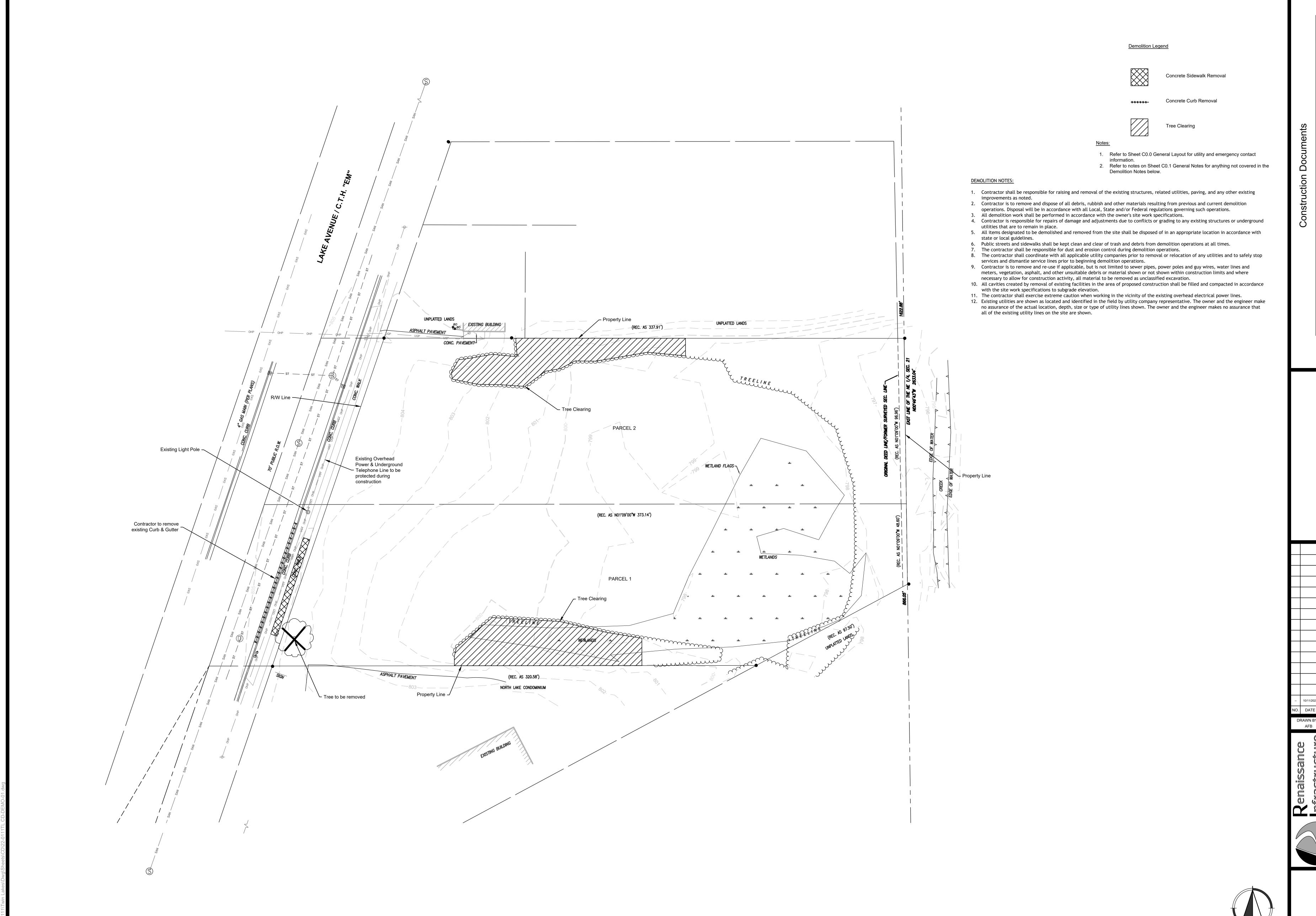
- 1. All work in public easements and right-of-way and all erosion control work must comply with the latest edition of the Technical Provisions & Standard Drawings for Roads and Sewers, of Twin Lakes, Wisconsin. If any of the general notes conflict with the Technical Provisions & Standard Drawings for Roads and Sewers of Twin
- Lakes, Wisconsin. The Cities standards shall override. 2. The contractor shall provide all materials, tools, equipment, and labor as necessary to install and maintain adequate erosion control, keep the streets clean of mud and debris, and prevent soil from leaving the project site. The contractor's erosion control measures shall conform to Twin Lakes, Wisconsin Technical Provisions
- 3. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and offsite
- sedimentation. 4. The contractor shall be responsible for maintaining erosion control devices and removing sediment until a minimum of 70% of permanent vegetation has become stabilized and established. Erosion control devices shall remain in place until the 70% established vegetation is met, or the duration of the project, whichever is
- 5. The contractor shall temporarily seed and mulch all disturbed areas if there has been no construction activity
- on them for a period of fourteen (14) calendar days.
- 6. Install "J' Hooks on silt fence every 100 LF 7. Contractor to install all Phase I erosion control devices prior to construction. 8. Contractor shall replace disturbed area with seed or sod, as indicated on the plans, and shall be installed
- within 14 days after paving completion and final topsoil grading. 9. Topsoil replacement shall be 6" thick.
- 10. Silt fence to be installed in accordance with Twin Lakes, Wisconsin Standard Details. 11. Refer to currently adopted WisDOT standards for good housekeeping and spill measures.
- 12. The Contractor shall inspect erosion control devices every 7 days and within 24 hours of a storm of 0.5 inches or more. The Contractor shall repair damage, clean out sediment, and add additional erosion control devices as needed, as soon as practicable, after inspection. The Contractor shall also inspect and assure that all sediment control devices are in working condition prior to any forecasted rainfall.

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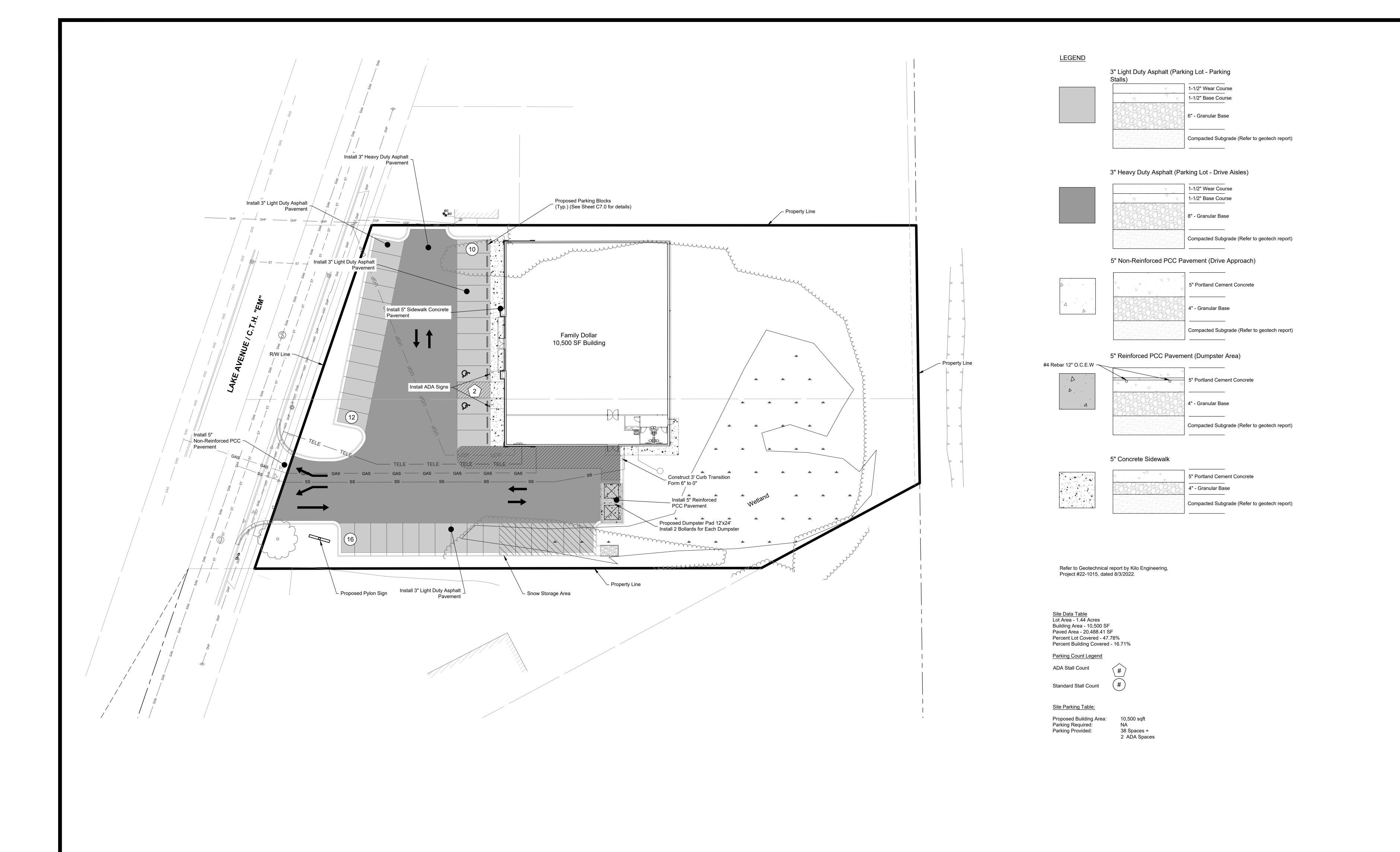




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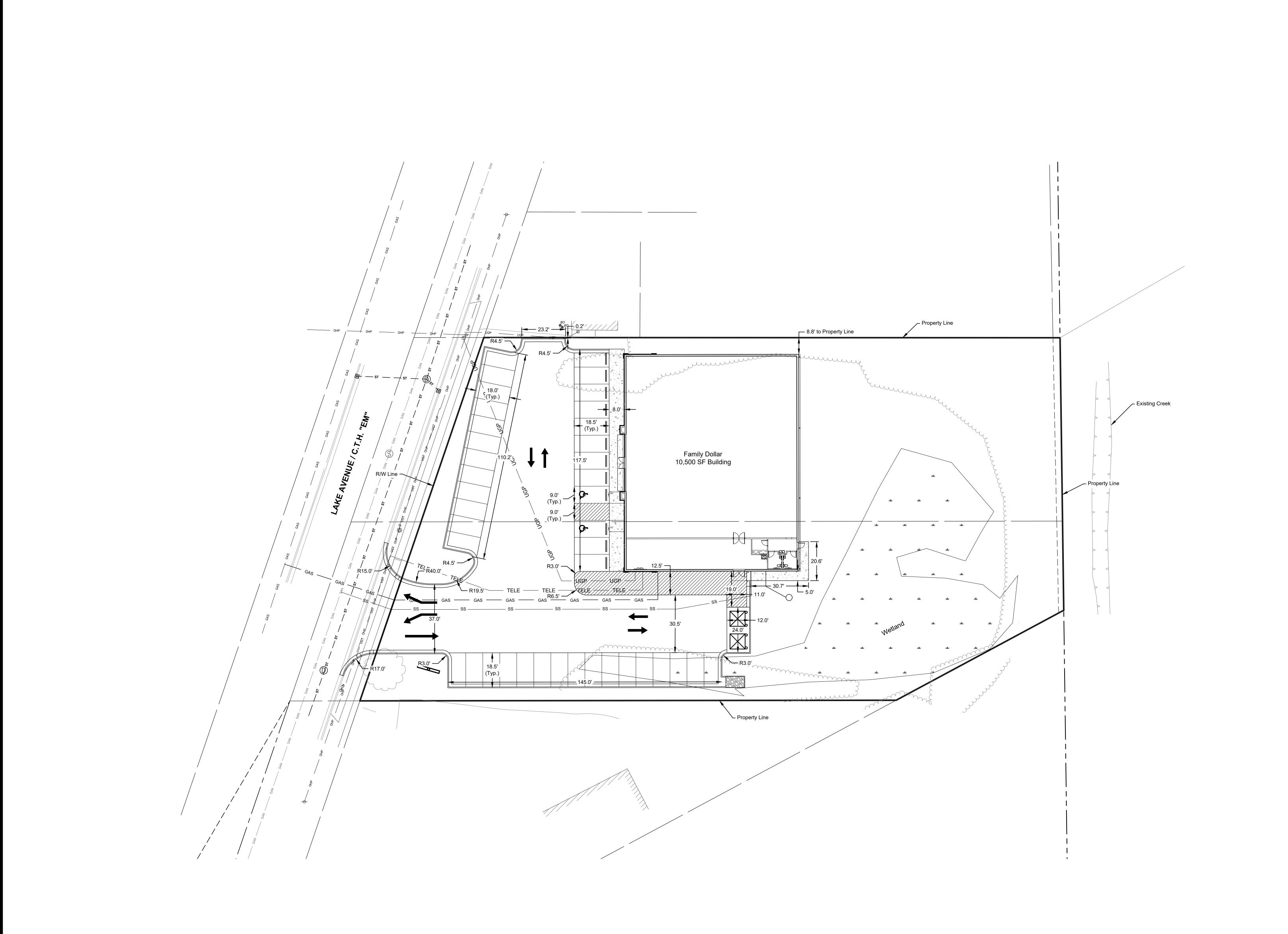
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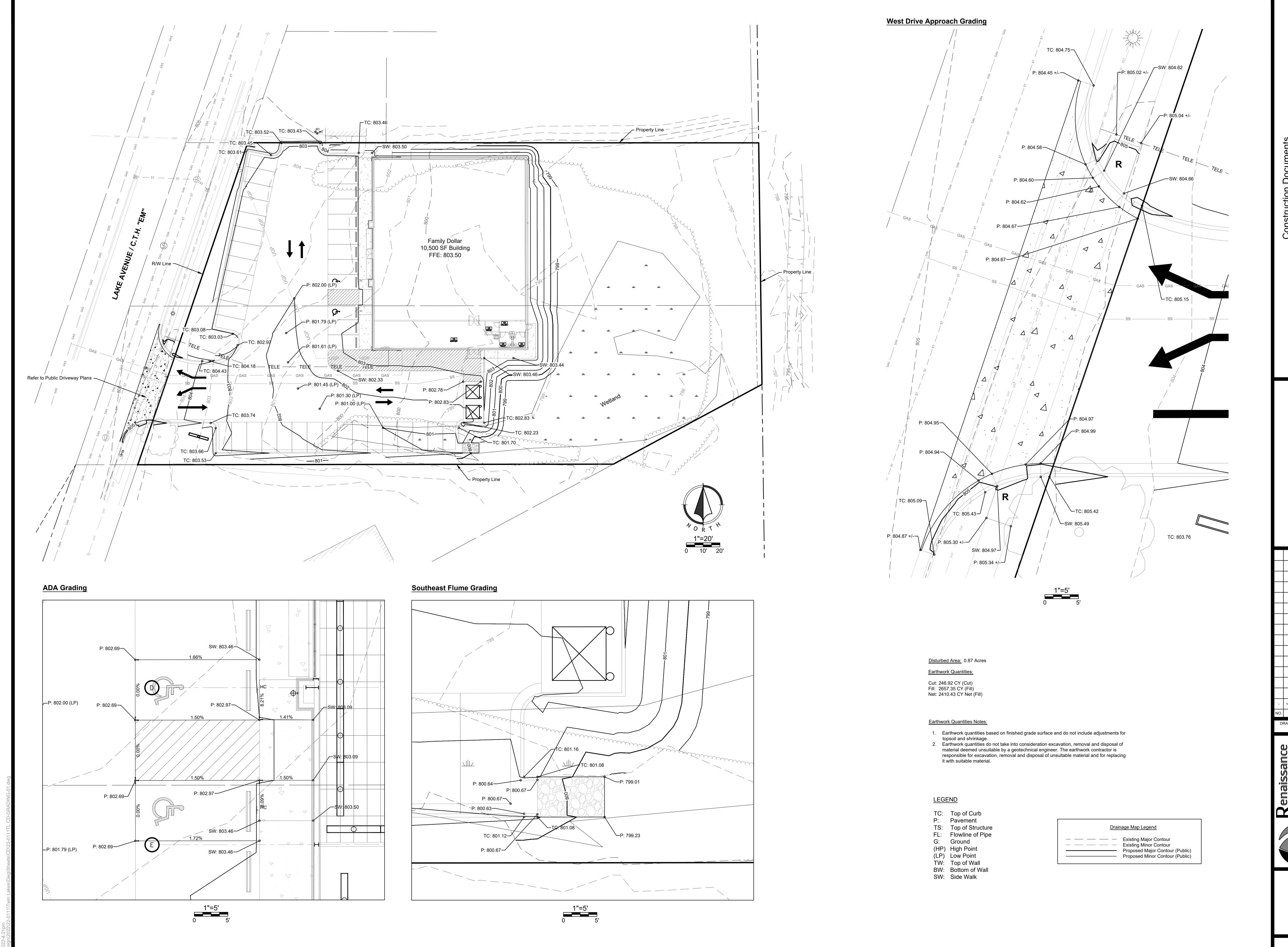
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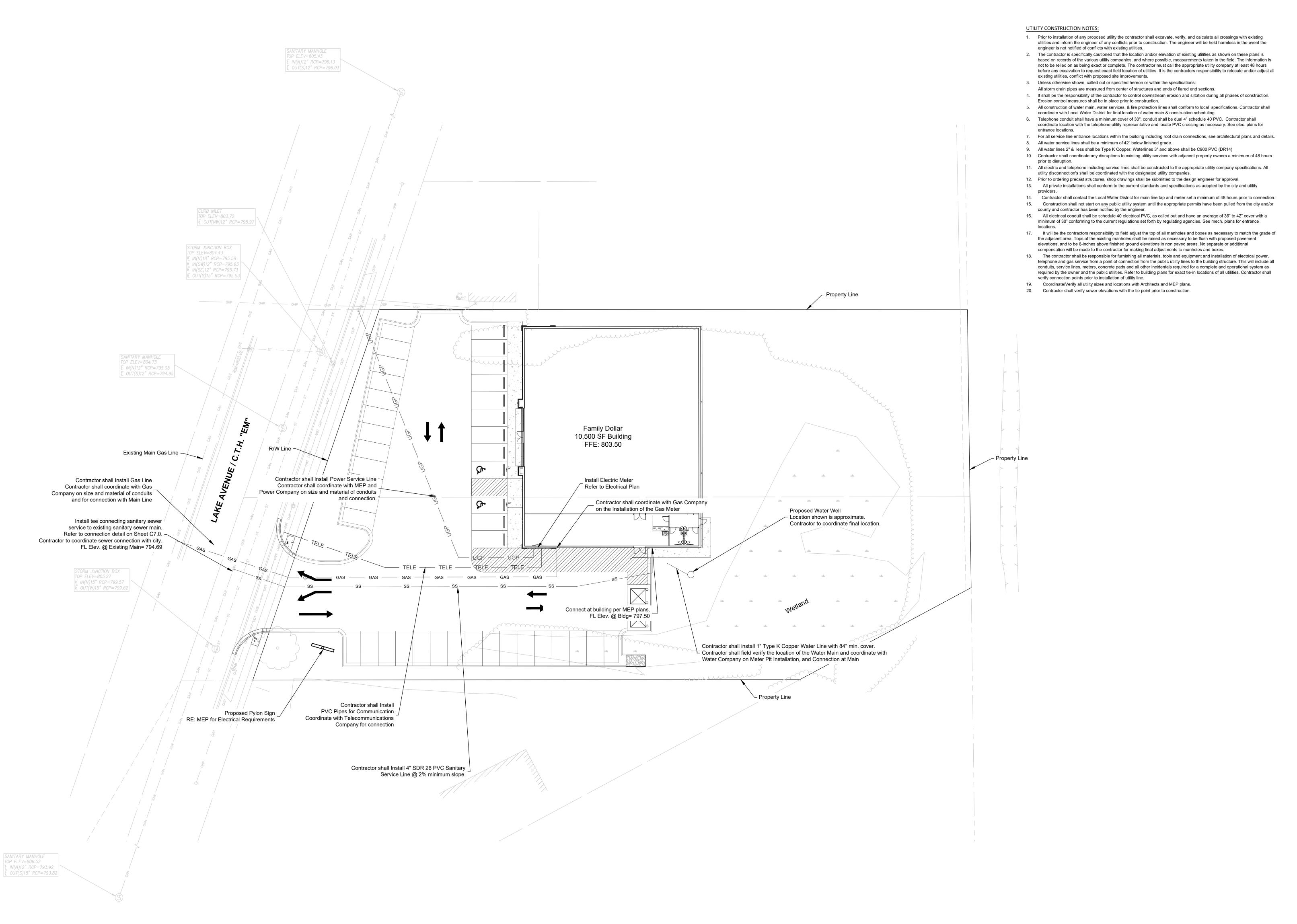




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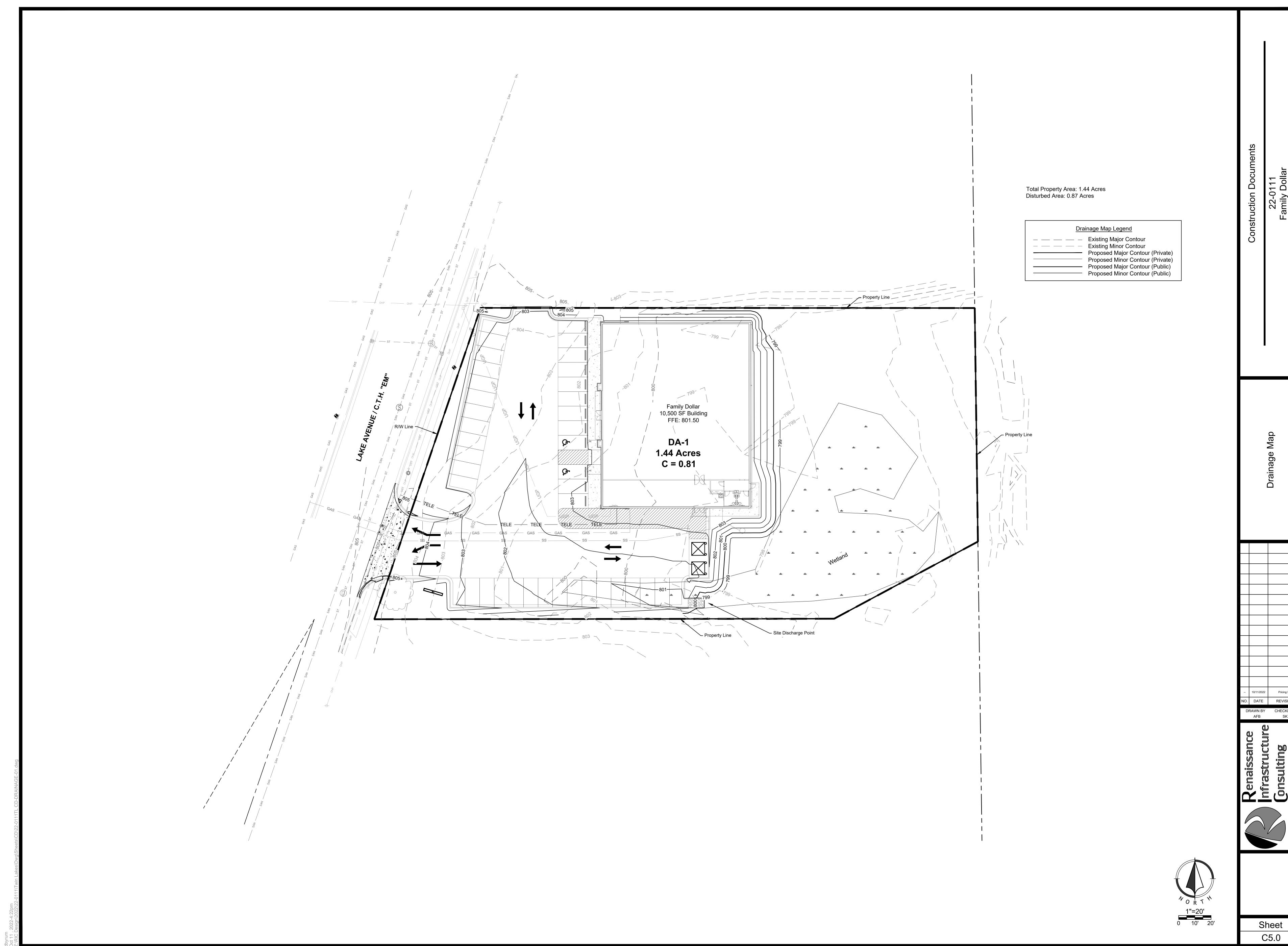




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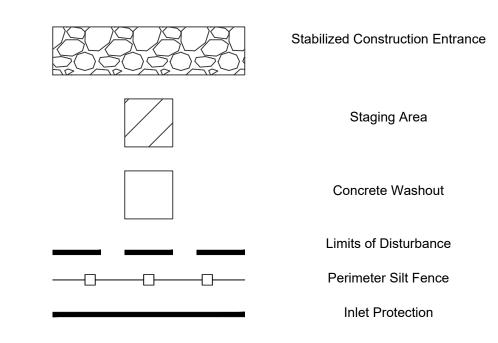
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C4.0



Disturbed Area for Site Improvements: 0.87 Acres

EROSION CONTROL LEGEND



<u>Drair</u>	nage Map Legend
	Existing Major Contour Existing Minor Contour Proposed Major Contour (Public) Proposed Minor Contour (Public)

EROSION CONTROL NOTES

- 1. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and
- 2. The retention of access controls and sediment controls shall be required for areas where seed has not established 70% cover.
- 3. The contractor shall temporarily seed and mulch all disturbed areas if soil disturbing activities cease and will not resume for more than 14 days. Stabilization activities must also be completed within 14 days.
- Install "J' Hooks on silt fence every 100 LF
 Any location that is being accessed by vehicles needs to have a construction entrance. 6. Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately. 7. Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

WRITTEN SEQUENCING

- Implement Pre-Clearing Plan:
 All temporary structural BMP's shown on the pre-clearing plan must be in place before the general clearing operations. Clearing necessary to place temporary structural BMP's is the minimum required. for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:

 Grade contractor areas and place all-weather surface on contractor areas.
- 3. <u>Clearing and Grubbing:</u>
 After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
		1	Construction Entrance	II	Install Construction Entrance
		2	Staging Area	II	Install Staging Area
Phase I	A-Prior to Construction	3	Perimeter Silt Fence	III	Install Silt Fence
	4 Concrete Washout		II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete	
Phase II	B - During Land Disturbance & Storm Infrastructure Installation	5	Inlet Protection	III	Install Filter Bags Prior to Construction
Phase III	C-Final Stabilization	6	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%

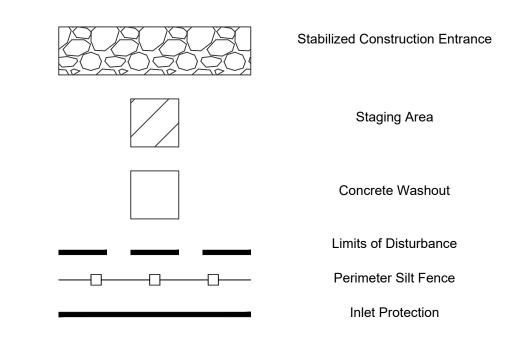


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Sheet C6.0

Disturbed Area for Site Improvements: 0.87 Acres

EROSION CONTROL LEGEND



<u>Drair</u>	nage Map Legend
	Existing Major Contour Existing Minor Contour Proposed Major Contour (Public) Proposed Minor Contour (Public)

EROSION CONTROL NOTES

- 1. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and
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 Any location that is being accessed by vehicles needs to have a construction entrance. 6. Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately.

7. Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

WRITTEN SEQUENCING

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- Clear and Stabilize Work Areas:

 Grade contractor areas and place all-weather surface on contractor areas.
- 3. <u>Clearing and Grubbing:</u>
 After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
		1	Construction Entrance	II	Install Construction Entrance
		2	Staging Area	II	Install Staging Area
Phase I	A-Prior to Construction	3	Perimeter Silt Fence	III	Install Silt Fence
		4	Concrete Washout	II	Install Concrete Washout as Shown on Plans Prior to Pouring Any Concrete
Phase II	B - During Land Disturbance & Storm Infrastructure Installation	5	Inlet Protection	III	Install Filter Bags Prior to Construction
Phase III	C-Final Stabilization	6	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Area. Stabilization Complete when 100% of Disturbed Area is Established with Perennial Vegetation with a Density of 70%



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- EROSION CONTROL NOTES 1. Erosion control plan modifications shall be required if the plan fails to substantially control erosion and
- 2. The retention of access controls and sediment controls shall be required for areas where seed has not established 70% cover.
- Install "J' Hooks on silt fence every 100 LF
 Any location that is being accessed by vehicles needs to have a construction entrance.
- 6. Contractor must keep a broom on site in order to clean up mud tracked on to the streets immediately. 7. Any contractor parking that is in a disturbed area must be rocked to prevent tracking of mud.

- for installation. Coordinate clearing necessary to place temporary structural BMP's with local weather forecast so that clearing and placement may be completed within a forecast dry period. Stabilize all erosion control measures after installation. Temporary Barrier Fence shall be in Place, around areas not to be disturbed, prior to any construction activities. This area includes Stream Corridor.
- Clear and Stabilize Work Areas:

 Grade contractor areas and place all-weather surface on contractor areas.
- 3. <u>Clearing and Grubbing:</u>
 After Phase I BMP's are installed, contractor may clear, grub, and demo required areas as necessary.

	PROJECT STAGE	PLAN REFERENCE NUMBER	BMP DESCRIPTION	REMOVE AFTER PHASE	NOTES
		1	Construction Entrance	II	Install Construction Entrance
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Disturbed Area for Site Improvements: 0.87 Acres

EROSION CONTROL LEGEND

Stabilized Construction Entrance Staging Area

> Limits of Disturbance Perimeter Silt Fence

Concrete Washout

Inlet Protection

Drainage Map Legend — — — Existing Major Contour— — Existing Minor Contour

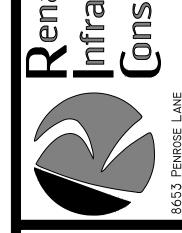
Proposed Major Contour (Public)
Proposed Minor Contour (Public)

3. The contractor shall temporarily seed and mulch all disturbed areas if soil disturbing activities cease and will not resume for more than 14 days. Stabilization activities must also be completed within 14 days.

WRITTEN SEQUENCING

Implement Pre-Clearing Plan:
 All temporary structural BMP's shown on the pre-clearing plan must be in place before the general clearing operations. Clearing necessary to place temporary structural BMP's is the minimum required.

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PLANT_SCHEDULE

GROUND COVERS BOTANICAL / COMMON NAME

CONT SPACING QTY

10,491.68 sf

Turfgrass Seed - Turf-type Tall Fescue Grass Seed Per Specification

SEED NOTES

- 1. SEEDING SHALL OCCUR AS REQUIRED BY THE SPECIFICATIONS. SEEDING AT OTHER TIMES WILL REQUIRE A COVER CROP APPROVED BY THE ENGINEER AND CITY CODE. DORMANT SEEDING SHALL BE APPROVED BY THE ENGINEER.
- 2. GRADED AREAS SHALL PROVIDE A SMOOTH UNIFORM SLOPE, FREE FROM RILLS AND GULLEYS.
- 3. THE TOP FOUR INCHES OF SOIL SHALL BE FERTILE SOIL SUITABLE FOR SEED GROWTH.
- 4. PRIOR TO APPLICATION OF SEED, CONTRACTOR SHALL LOOSEN ALL SOILS TO A DEPTH OF ONE INCH. THE AREA SHALL BE RAKED FREE OF ALL ROCKS AND DEBRIS ACCORDING TO THE SPECIFICATION.
- 5. ALL AREAS TO BE SEEDED LOCATED ON SLOPES STEEPER THAN 4:1 (H:V) SHALL USE SPECIFIED TURF REINFORCEMENT MAT. ALL TRM SHOWN ON THE PLANS SHALL BE CONSIDERED CONCEPTUAL, CONTRACTOR TO VERIFY AND INSTALL ON ALL SLOPES EXCEEDING 4:1 AFTER FINAL GRADING IS ESTABLISHED.
- 6. ALL SEEDED ARES SHALL BE DRAGGED OR RAKED BEFORE BEING COVERED WITH THE SPECIFIED TRM. MAT SHALL BE PLACED PRIOR TO EXPOSURE TO ADVERSE WEATHER.
- 7. THE CONTRACTOR MUST PROVIDE THE OWNER'S REPRESENTATIVE DOCUMENTATION FROM THE SUPPLIER THAT EACH LOT OF SEED MEETS OR EXCEEDS THE SPECIFIED STANDARD.
- 8. ALL SEED MUST BE TESTED BY A REGISTERED SEED TECHNOLOGIST PER AOSA METHODS AND MEET ALL REQUIREMENTS ESTABLISHED BY THE STATE DEPARTMENT OF AGRICULTURE.
- 9. AFTER COMPLETION OF WORK, CONTRACTOR SHALL WATER SEEDED AREAS DAILY. SATURATING THE MAT AND UNDERLYING SEED BED. CONTRACTOR SHALL CONTINUE WATERING UNTIL PLANT ESTABLISHMENT HAS OCCURRED OR BY NOTIFICATION FROM LANDSCAPE ARCHITECT. NOT WATERING DUE TO RAIN EVENT SHALL BE DOCUMENTED AND APPROVED BY THE GENERAL CONTRACTOR. WATERING LOGS SHALL BE SUPPLIED TO THE OWNER OR ENGINEER.
- 10. AN AUTOMATIC IRRIGATION SYSTEM IS NOT PROPOSED WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND MAINTENANCE THROUGHOUT THE MAINTENANCE PERIOD. RE: SPECIFICATIONS

SECTION 329200 - LAWNS PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes the following areas of Work:
- 1. Fine grading and preparing lawn areas. Furnishing and applying topsoil.
- 3. Furnishing and applying limited soil amendments.
- 4. Sodding new lawn areas.
- 5. Reconditioning existing lawn areas. 6. Replanting unsatisfactory or damaged lawns.
- Maintenance.
- B. Related Work Specified Elsewhere:

1. Trees and Shrubs: SECTION 329300 1.2 REFERENCES

A. Applicable Standards: 1. American Society for Testing and Materials (ASTM) - Equivalent AASHTO standards may be substituted as approved.

1.3 SUBMITTALS

number of supplier.

- A. Certification of each seed mixture for sod, identifying the sod source, including name and telephone number of supplier. Seed for sod must be sod quality and is to be gold tag standards with 0% other crop seed and 0% weed seed. B. Certification of each seed type for Native Grass mixture identifying the seed source, including name and telephone
- C. Engineer has final approval of seed grower, no exceptions.
- D. Qualification data for firms and persons specified in the "Quality Assurance" Article to demonstrate their capabilities and experience. Include lists of completed projects with project names and addresses, names and address of architects and owners, and other information specified.
- E. Material test reports from qualified independent testing agency indicating and interpreting test results relative to compliance of the following materials with requirements indicated.
- 1. Agronomic and biological analysis of existing surface soil. 2. Agronomic and biological analysis of all imported topsoil.
- F. Maintenance instructions recommending procedures to be performed by Owner for maintenance of landscaping

during an entire year. Submit before expiration of required maintenance periods. 1.4 QUALITY ASSURANCE

- A. Qualifications: A qualified subcontractor shall employ or provide a qualified installation manager who meets any or all of the required qualifications;
- 1. Bachelor of Science Degree in Horticulture, Botany, Soil Physics, Agronomy, General Agriculture, Agricultural or Biological Engineering, or a related field.
- 2. An individual with field experience as approved by the Landscape Architect or Registered Engineer. B. Installer Qualifications: Engage an experienced Installer who has completed landscaping work similar in material,
- design, and extent to that indicated for this Project and with a record of successful turf establishment. 1. Installer's Field Supervision: Require Installer to maintain an experienced full-time supervisor on the Project site
- during times that turf planting is in progress. C. Testing Agency Qualifications: To qualify for acceptance, an independent testing agency must demonstrate to
- Landscape Architect's satisfaction, based on evaluation of agency-submitted criteria conforming to ASTM E 699, that it has the experience and capability to satisfactorily conduct the testing indicated without delaying the Work. D. Topsoil Analysis: Furnish a soil analysis made by a qualified independent soil-testing agency stating percentages of

organic matter by Loss on ignition, inorganic matter (proportion of silt, clay, and sand), deleterious material including

biological contamination, pH, mineral and plant-nutrient content of topsoil, and cationic exchange capacity. 1. Report suitability of topsoil for grass growth from horticulturist. State recommended quantities of nitrogen, phosphorus, and potash nutrients and any limestone, aluminum sulfate, or other soil amendments to be added to produce satisfactory topsoil.

1.5 DELIVERY, STORAGE AND HANDLING

- A. Sod: Harvest, deliver, store, and handle sod according to the requirements of the Turfgrass Producers International (TPI) "Specifications for Turfgrass Sod Materials and Transplanting/Installing."
- B. Native Seed: Delilver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.

1.6 COORDINATION AND SCHEDULING

- A. Planting Season: Install seed during normal planting seasons for type of lawn work required. Correlate planting with specified maintenance periods to provide required maintenance from date of Substantial Completion.
- B. Weather Limitations: Proceed with work only when existing and forecast weather conditions are suitable for work.

1.7 MAINTENANCE

- A. Lawns/turf areas: Begin maintenance of turfgrass immediately after each area is planted and continue until acceptable establishment, but for no less than the following periods: 1. Seeded Lawns: 90 days after date of Substantial Completion.
- B. Maintain and establish lawns by watering, fertilizing, weeding, mowing, trimming, replanting and other operations
- per this Specification. C. Watering-Subcontractor shall be responsible of watering the sod as required by this Specification. Subcontractor may use irrigation system to accomplish watering. Subcontractor shall be responsible for coordinating with irrigation
- contractor for scheduling of irrigation system to provide required water needs. D. Post-fertilization: Apply fertilizer to lawn after first mowing and when grass is dry.

PART 2 - PRODUCTS

- A. Standard Topsoil: ASTM 5268, pH range 5.5 to 7. Free of stones 1 inch or larger in any dimension, and other extraneous materials harmful to plant growth.
- 1. Topsoil Source: Reuse surface soil stockpiled on the site where available. Verify suitability of surface soil to 3.6 produce topsoil meeting requirements and amend when necessary. Supplement with imported topsoil when quantities are insufficient. Imported topsoil shall meet the requirements of this specification for composition. Clean all topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant

2.2 LIMITED SOIL AMENDMENTS

- A. Herbicides: EPA registered and approved, of type recommended by manufacturer and approved by the Landscape
- B. Compost: Well-composted, stable and weed-free organic matter, pH range of 5.5-8; moisture content 35-55 percent by weight; 100 percent passing through 3/4-inch sieve; soluble salt content less than 4 decisiemens/m; not exceeding 0.5 percent inert contaminants and free of substances toxic to plantings. C. Water: Potable.

2.3 GRASS SEED:

- A. Provide fresh, clean, new crop seed complying with tolerance for purity and germination established by Official Seed Analysts of North America and as required below.
- B. Be labeled according to the U.S. Department of Agriculture Federal Seed Act and shall be furnished in containers with tags showing seed mixture, purity, germination, weed content, name of seller, and date on which seed was tested. C. Seed Mix: 10% Bluegrass & 90% Turf-Type Tall Fescue, composed of an equal mix of three or four compatible
- species of bluegrass and one or two species of fescue. The mixture shall not include any varieties of the slower growing "Dwarf" fescue types. 1. Fescue Varieties, or approved equal
- Apache, Arid, Austin, Bonanza, Carefree, Cheiftan, Cimmaron, Cochise, Falcon, Guardian, Houndog, Jaguar II, Mayerick II, Mustang, Olympic, Phoenix, Rebel II, Rebel 3D, Safari, Shenandoah, Thoroughbred, Titan, Tribute,
- 2. Bluegrass Varieties, or approved equal
- a. Asset, Kenblue, Midnight, Nassau, Ruby II, Troy
- 3. Moldy seed or seed that has been damaged in storage shall not be used. 4. All seed shall be hulled and/or coated for optimum growth performance and quicker establishment.
- 5. Landscape Architect shall have final approval of all seed blends and mixtures.
- D. Cover Crop: As approved by Landscape Architect, Contractor shall submit mix for approval.

- A. Post Seeding Commercial fertilizer of neutral character, with some elements derived from organic sources, containing not less than 1 lbs. of actual nitrogen per 1,000 square feet of lawn area. Fertilizer shall be applied per manufacturers
- B. Commercial Starter Fertilizer: Prior to the use of a starter fertilizer, the contractor shall perform a soil test and amend soil as required to ensure optimum growth performance. Starter fertilizer shall be applied per manufacturers recommendations

C. Deliver to site in labeled bags or containers.

2.5 MYCORRHIZAL INOCULANT

- A. The Subcontractor shall utilize an organic, mycorrhizal inoculant for soil prep. The material shall be granular and applied per manufacturer's recommendation. M-Roots w/ Mycorrhiza or approved equal. For exact finish, insert names of coating manufacturers and products.
- 2.6 STRAW MAT
- A. Provide a biodegradable single net, two sided organic straw mat with functional longevity of 10-12 months by Greenfix Amerca, Product WS072 Double Net Straw or Approved Equal.
- B. Utilize Straw Mat for dormant seeding and on slopes greater than 4:1

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine areas to receive lawns for compliance with requirements and for conditions affecting performance of work of this Section. Do not proceed with installation until unsatisfactory conditions have been corrected.

- 3.2 PREPARATION
- A. Protect structures, utilities, sidewalks, pavements, and other facilities, trees, shrubs, and plantings from damage
- B. Provide erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.

3.3 SOIL PREPARATION

3.4 SEEDING NEW LAWNS:

- A. Dispose of any growth, rocks, or other obstructions which might interfere with tilling, seeding, sodding, or later maintenance operations. Remove stones over 38 mm (1 1/2 inches) in any dimension and sticks, roots, rubbish, and
- B. Thoroughly loosen and pulverize topsoil to a depth of at least 100 mm (4 inches) for all standard turfgrass areas.
- C. Grade lawn areas to a smooth, even surface with loose, uniformly fine texture. Roll and rake, remove ridges and fill depressions to meet finish grades. Limit fine grading to areas which can be planted within immediate future.
- D. Moisten prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface to dry off before planting of lawns. Do not create a muddy soil condition.
- E. Restore prepared areas to specified condition if eroded or otherwise disturbed after fine grading and prior to planting.
- F. Spread top soil mixture to depth required to meet thickness, grades, and elevations indicated after light rolling and natural settlement.

G. Allow for sod thickness in areas to be sodded.

- H. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavation, grading, or stripping operations, prepare soil for lawn planting as follows: 1. Remove and dispose of existing grass, vegetation, and turf. Do not turn over into soil being prepared for lawns.
- thoroughly into top 4 inches of soil. Trim high areas and fill in depressions. Till soil to a homogenous mixture 3. Clean surface soil of roots, plants, sod, stones, clay lumps, and other extraneous materials harmful to plant

2. Till surface soil to a depth of at least 6 inches. Apply required soil amendments and initial fertilizers and mix

4. Remove waste material, including grass, vegetation, and turf, and legally dispose of it off the Owner's property.

A. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.

- B. Sow seed with a Brillion type seeding machine or where applicable and restricted by steep slopes or other areas not accessible to the seeding machine, broadcast or drop seed methods may be used. Do not broadcast or drop seed when wind velocity exceeds 5 mph. Evenly distribute seed by sowing equal quantities in 2 directions at right angles to each other, and 3 directions in high maintenance areas, as directed by the Engineer.
- C. Sow not less than rate of 8 pounds per 1,000 square feet.
- D. Rake seed lightly into top 1/8_inch of soil, roll lightly, and water with fine spray. E. Protect seeded slopes exceeding 1:4 against erosion with erosion-control blankets installed and stapled according to
- manufacturer's recommendations. F. Protect seeded areas with slopes less than 1:4 against erosion by spreading mulch as specified after completion of seeding operations. Spread uniformly to form a continuous blanket over seeded areas. Spread by hand, blower, or other suitable equipment.

G. Seasonal Limitations:

- 1. Perform seeding only during the following seasons: a. Recommend seeding when temperatures ranging from 50 degrees Fahrenheit to 70 degrees Fahrenheit for a
- minimum 6 week period. J. Methods of Application:
- 1. Dry Seeding: Spreader or seeding machine.
- 2. Hydroseeding: Mix seed, fertilizer and pulverized mulch with water and constantly agitate. Do not add seed to water more than 4 hours before application: a. On slopes of 2 horizontal to 1 vertical or flatter, apply seed separately from fertilizer. Cover seed with soil to
- an average depth of 13 mm (1/2_inch) by raking or other approved methods. b. On slopes steeper than 2 horizontal to 1 vertical, seed and fertilizer may be applied in a single operation.
- Incorporation into the soil will not be required.

RECONDITIONING LAWNS:

- A. Recondition lawn areas damaged by construction operations, including storage of materials or equipment and movement of vehicles. Also recondition lawn areas where settlement or washouts occur or where minor regrading is required. Recondition other existing lawn areas where indicated.
- B. Provide fertilizer, sod, and soil amendments as specified for new lawns and as required to provide satisfactorily reconditioned lawn. Provide new planting soil as required to fill low spots and meet new finish grades.
- C. Cultivate bare and compacted areas thoroughly to provide a good, deep planting bed. D. Remove diseased or unsatisfactory lawn areas; do not bury into soil. Remove topsoil containing foreign materials resulting from Subcontractor's operations including oil drippings, stone, gravel, and other construction materials.
- Replace with new topsoil. E. Where substantial lawn remains (but is thin), mow, rake, aerate if compacted, fill low spots, remove humps and cultivate soil, fertilize, and seed at a rate of 0.5 lbs per 1,000 SF. Remove weeds before seeding or, if extensive, apply selective chemical weed killers as required. Apply a seed-bed mulch, if required, to maintain moist condition.

F. Water newly planted areas and keep moist until new grass is established.

A. Erect barricades and warning signs as required to protect newly planted areas from traffic. Maintain barricades throughout maintenance period until lawn is established.

3.9 MAINTENANCE:

A. Mow established grass to a shorter height (0.5 inches) prior to spring growth to remove dead leaf blades and debris.

- B. Mow grass to height of 0.5 to 1.5 inches as soon as there is enough top growth to cut with mower. Remove no more than 30% of grass leaf growth in initial or subsequent mowings. Do not delay mowing until grass blades bend over
- C. Remove weeds by pulling or chemical treatment. Preemergent herbicide shall not be applied to establishing stands. D. Perform maintenance throughout the 90 day maintenance period.
- E. Seeded Areas: 1. Thoroughly water seeded areas daily to keep seeds moist until germination. After seeds have germinated, continue watering daily until the first mowing. Watering shall be in amounts enough to wet seeds and surrounding soil, but not cause erosion or disposition of seeds.
- 2. Repair any portion of the seeded surface which becomes gullied or otherwise damaged. Reseed as required.
- E. Apply second fertilizer application after first mowing and when grass is dry. Use fertilizer which will provide not less than 1 lbs of actual nitrogen per 1,000 square feet of lawn area.

3.10 ACCEPTANCE OF LAWNS:

- A. When lawn Work is Substantially Complete, including maintenance, Landscape Architect and Owner will, upon request, make an inspection to determine acceptability:
- 1. Lawn Work may be inspected for acceptance in parts agreeable to Owner, provided Work offered for inspection is

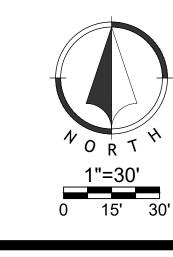
2. An Acceptable stand of grass shall be considered when there is a minimum of 95% ground coverage with no bare

spots greater than 12" Square. B. Replant rejected work and continue specified maintenance until re-inspected by Landscape Architect and Owner and

found to be acceptable. 3.11 CLEANUP:

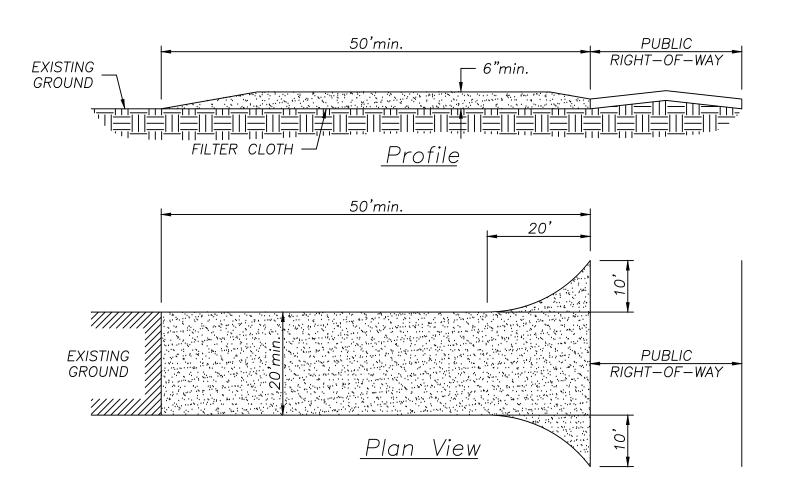
A. Promptly remove soil and debris created by lawn Work from paved areas. Clean wheels of vehicles prior to leaving Site to avoid tracking soil onto surfacing of roads, walks, or other paved areas.

END OF SECTION 329200



Sheet

10/11/2022 O. DATE REVISION DRAWN BY CHECKED E AFB

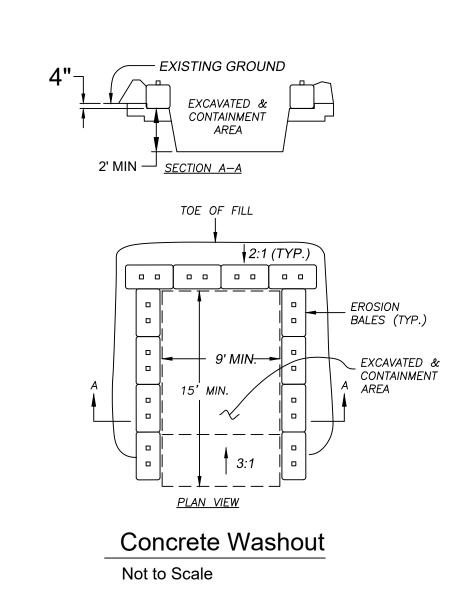


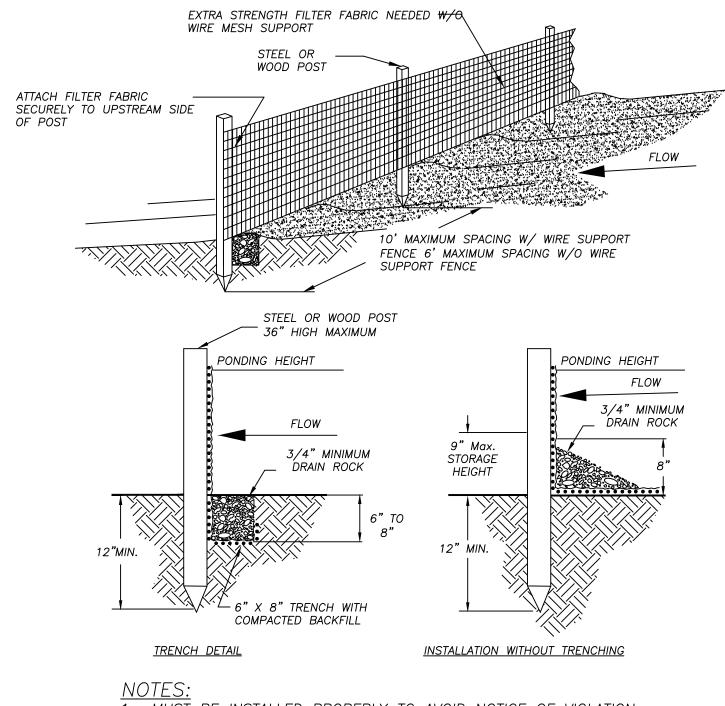
CONSTRUCTION SPECIFICATIONS:

- 1. STONE SIZE USE (2) INCH STONE, OR RECLAIMED OR RECYCLED EQUIVALENT.
- 2. LENGTH AS REQUIRED, BUT NOT LESS THAN (50) FEET.
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES. 4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE
- INGRESS OR EGRESS OCCURS.
- 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE
- BERM WITH 3:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS—OF—WAY. THIS MAY REQUIRE PERIODIC
- TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC
- RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AS NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Temporary Construction Entrance

Not to Scale





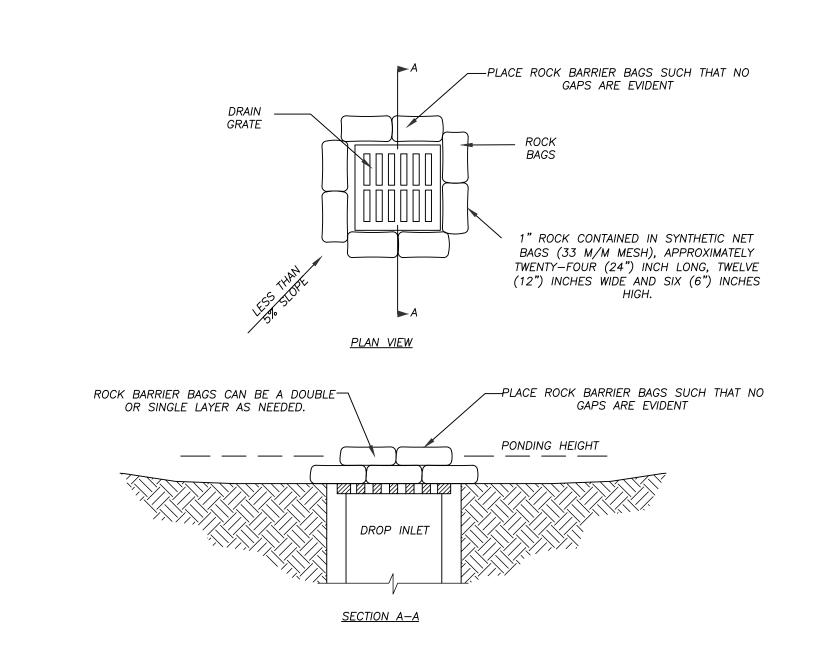
NOTES:

1. MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION.

- 2. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE POUNDING EFFICIENCY.
- 3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
- 4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF—SITE AND CAN BE PERMANENTLY STABILIZED.

Filter Fabric Silt Fence

Not to Scale



1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%.) 2. A "REASONABLE" DESIGN SIZE PARTICLE TO CAPTURE MUST BE SELECTED. 3. SIZE DISTRIBUTION OF UPSTREAM SOIL PARTICLES MUST BE EVALUATED. 4. INFLOW AND OUTFLOW FROM THE SYSTEM FOR A SPECIFIC FREQUENCY STORM MUST BE KNOWN. 5. POND VOLUME IS DIRECTLY PROPORTIONAL TO THE DISCHARGE RATE OF WATER FROM THE SYSTEM. 6. POND VOLUME IS INVERSELY PROPORTIONAL TO THE MASS OF THE DESIGN SIZE SUSPENDED PARTICLE. 7. A SYSTEM MUST PROVIDE SUFFICIENT FLOW TO ALLOW FOR DEPOSITION OF DESIGN SIZE PARTICLES. 8. THE PONDING HEIGHT MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

Rock Bag Drop Inlet Barrier

Not to Scale

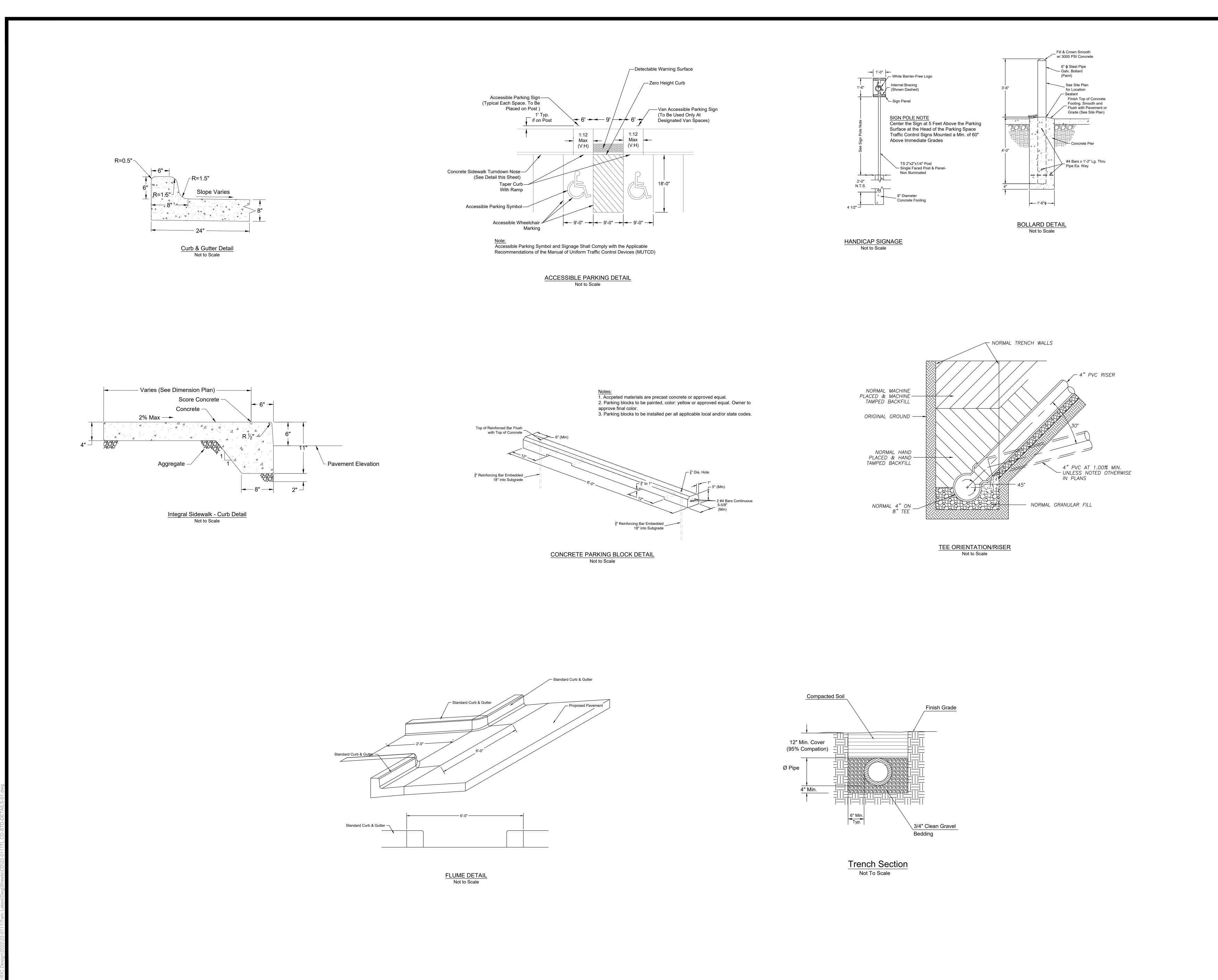
Sheet C6.4

10/11/2022

REVISION

AFB SK

NO. DATE



dbyrum Oct 11 , 2022-4:22pm

Sheet C7.0

REVISION

NO. DATE

Construction Documents

<u>MAILBOX</u>

REQUIREMENTS.

CONTRACTOR SHALL PROVIDE AND INSTALL A MAIL

WITH FAMILY DOLLAR FOR MAIL BOX SIZE

BOX IF LOCAL POST OFFICE REQUIRES. COORDINATE

CONSTRUCTION CAMERAS

ANY SITE WORK.

OF CAMERAS

ALL PROJECTS ARE REQUIRED TO HAVE A JOBSITE MONITORING SYSTEM WITH NECESSARY POWER FOR

THE DURATION OF THE CONSTRUCTION, INCLUDING

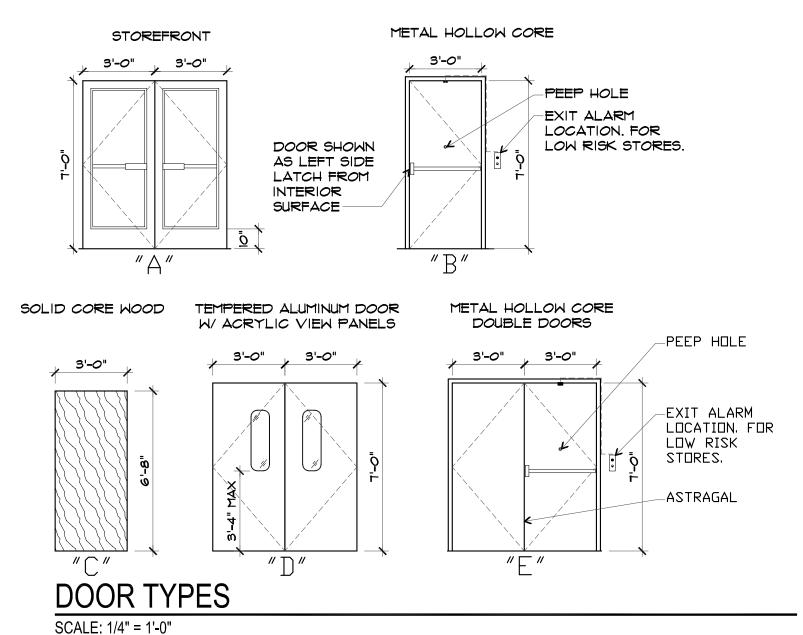
CONSTRUCTION START, FAMILY DOLLAR MAY ELECT TO CONTRACT DIRECTLY WITH OX BLUE FOR SAID CAMERA AND BILL LANDLORD BACK THE COST OF

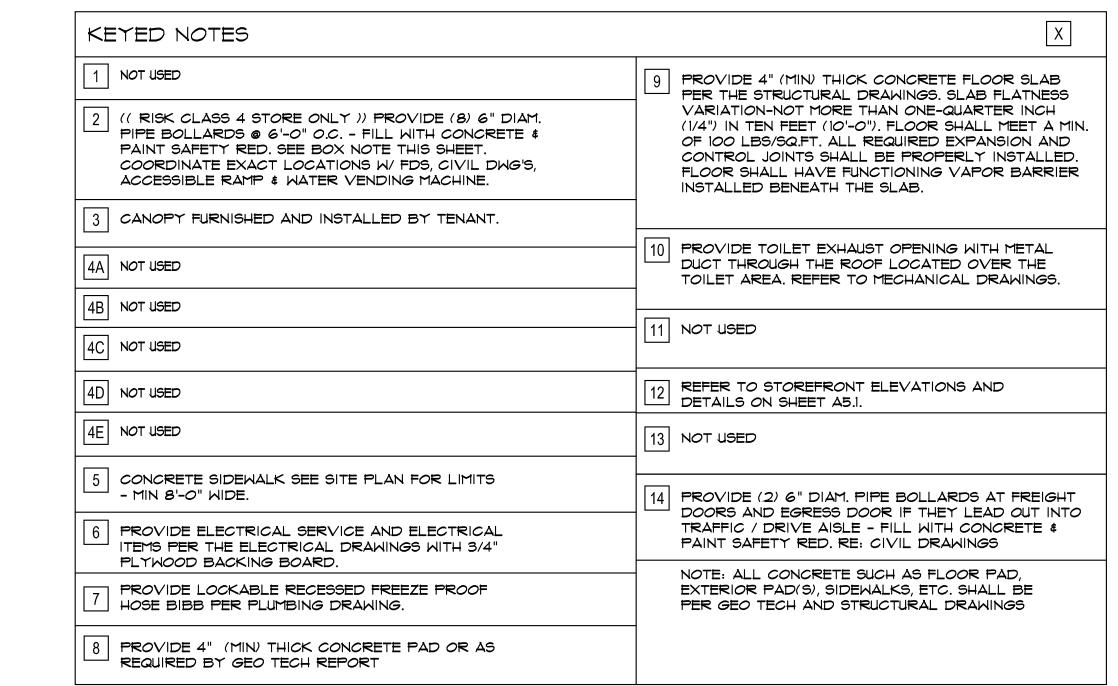
THE CAMERA FOR THE DURATION OF CONSTRUCTION.)

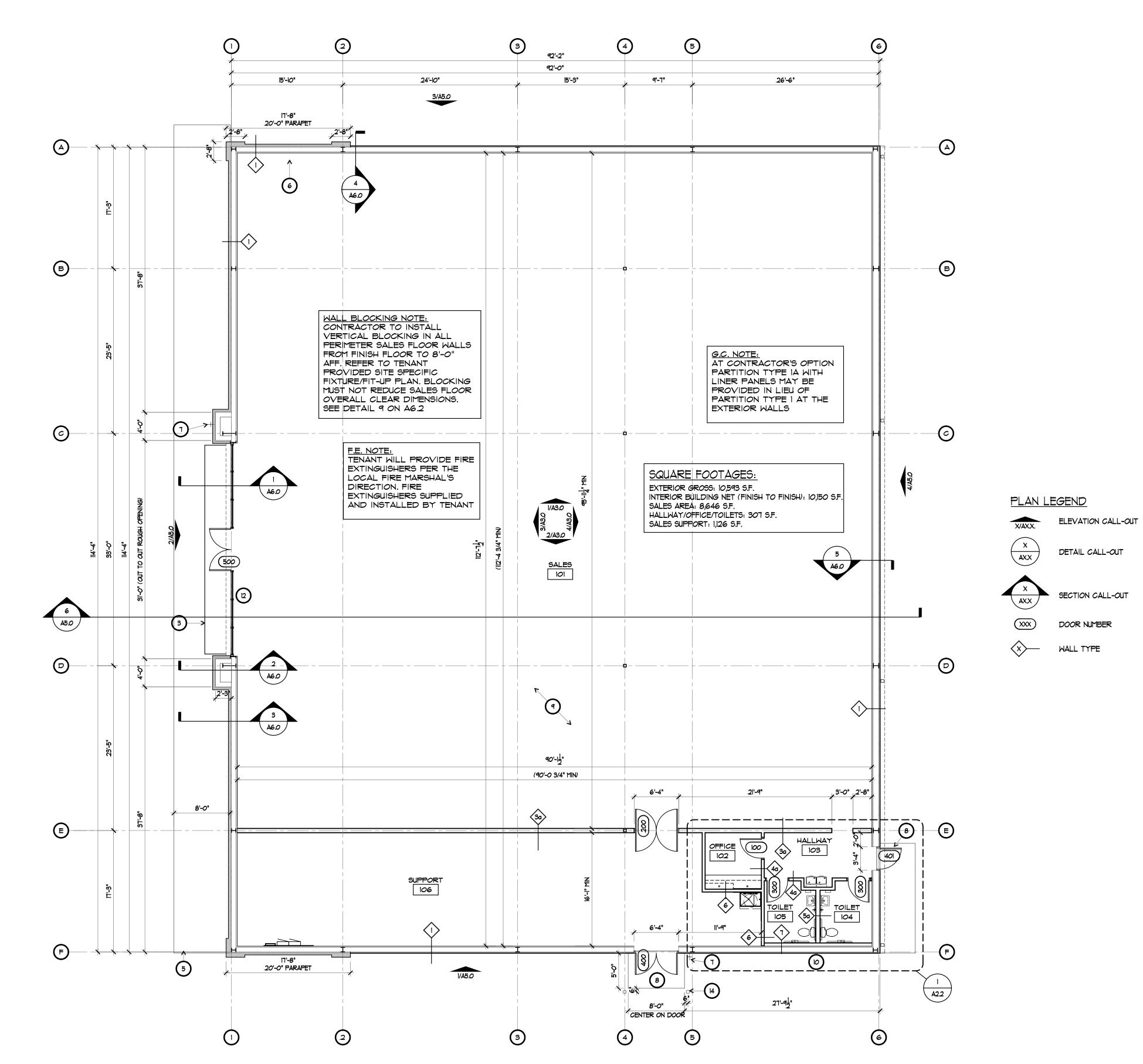
NOTE : ALLOW 4 WEEKS FOR ORDERING & DELIVERY

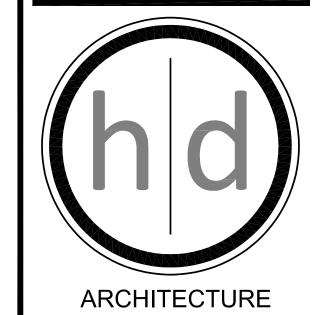
(IF CAMERA IS NOT ACTIVE AFTER 1 WEEK OF

SECURED TO 8" GIRTS AT 2'-O" O.C. AND BATT INSULATION. PROVIDE LEVEL 4 FINISH. PRE-ENGINEERED METAL BUILDING (PEMB) STRUCTURE WITH 1 1/2"REVERSE ROLL 26GA LINER PANEL TO 12'-O A.F.F. SECURED TO 8" GIRTS AT 2'-O" O.C. AND BATT INSULATION. NOT USED			SPACE	5	FL00RS	BASE	5	/	NALLS		CEILIN	G NOTES	
WITH 1 1/2 "REVERSE ROLL 26GA LINER PANEL TO 12'-O A.F.F. SECURED TO 8" GIRTS AT 2'-O" O.C. AND BATT INSULATION.		IOI SALES		=-	CONCRETE READY FOR TENANTS FLOOR FINISH		R	GWB W/ LEVEL 4 FINISH READY FOR TENANTS PAINT			ACT-1 AT		
	102 OFFICE			C	CONCRETE READY FOR TENANTS FLOOR FINISH		G	GMB W/ LEVEL 4 FI READY FOR TENAN PAINT			GWB AT 8'-0" AF PAINT-1		
	10	103 HALLWAY			CONCRETE READY FOR TENANTS FLOOR FINISH		G	PAINT GWB W/ LEVEL 4 FINISH READY FOR TENANTS PAINT		ACT-1 AT 8'-0" AF	•		
	10	94	TOILET	S	HEET VINYL	SV-I		RP-1 TO	8'-0" Ai	FF	GWB AT 8'-0" AF PAINT I	14	
PARTITION WALL: 6" (20 GAGE) METAL STUDS @ 16" 00		P5	TOILET	s	HEET VINYL	SV-I	F	RP-1 TO	8'-0" Ai	FF	GWB AT 8'-0" AF PAINT 1	14	
MITH ONE LAYER 5/8" GWB EACH SIDE TO UNDERSIDE OF STRUCTURE ABOVE. BRACE WALL TO STRUCTURE 4'-O" O.C. ABOVE CEILING. FINISH PER SCHEDULE SHEET A2.0.		106 STOCKROOM			CONCRETE READY FOR TENANTS FLOOR FINISH		R	WB W/ L EADY FO AINT			EXPOSEI NO PAIN	- البكيا	
NOT USED	FINI 1. 2. 3. 4.	IN STO	OT PROV OCKROOM RIOR SIDI I COAT P ON DOOF OW METAL	1 THAT E OF HO RIMER , RS TO E _ FRAM!	AL CHEMS SPEC HARDE WILL RECEIVE CLEAR A DLLOW METAL DOORS A AND 2 COATS SEMI-GLO BE FACTORY FINISHED I ES AND WOOD RESTRO AND 2 COATS SEMI-GLO	SEALE MES TO LOR PE OR SCH ORS TO	ER.) BE PRI ER EXTER IEDULE. BE PRIM	MED & FIN	PAINTED NISH SCH 'AINTED	IN FIELD EDULE.			
PARTITION WALL: 3 5/8" (20 GAGE) METAL STUDS @ 16" OC WITH ONE LAYER 5/8" GWB TO UNDERSIDE OF		FINISHES FLOOR SHEET SHEET VINYL: CLASSIC CORLON SERIES MANUFACTURED BY											
STRUCTURE ABOVE ON STOCKROOM SIDE AND TO FINISH CEILING ON TOILET / HALLWAY / OFFICE ROOM SIDE. WALLS ON INTERIOR OF TOILET ROOMS SHALL HAVE WATER RESISTANT GWB. FINISHED PER SCHEDULE SHEET A2.0.	BAS		SHEET VINYL SV-1	ARMS OR E	STRONG - CONNECTION QUAL. T VINYL BASE: INTEGR	N <i>CO</i> RLO	RADIUS	RCELAIN 5, 6" HIG	" #8872 5H COVE	24 ED			
NOT USED	CRANE COMPOSITES OR EQUAL) (FOR SURFACES IN THE RESTROOMS. INSTANDED ON THE RESTROOMS. INSTANDED ON THE RESTROOMS. INSTANDED ON THE READ. INSTALL FROM THE READ. INSTANDED ON THE READ.						ED ALUMINUM CAP TRIM. BORD # 85 - WHITE W/ PEBBLED EMBOSSED FINISH, BY FORMALLY KEMLITE) TO 8'-O" A.F.F. ON ALL WALL STALL FRP TO 8'-O" A.F.F. BEHIND THE MOP SINK A DIMPLETE FRP W/ TRIP CAP ON TOP, SIDES, CORNERS AND REQD. BY MFG. VERIFY LOCAL CODE FOR ADDITIONAL RP TO 4'-O" A.F.F. AT WATER COOLER, RE: 2/A2.2 CEILING TILE BY ARMSTRONG "CORTEGA" SQUARE						
NOT GOLD			PAINT-I	(2 00	DATS) SUPER HIDE ZERO VOC DR-WHITE				•				
PLUMBING PARTITION: 6" (20 GAGE) METAL STUDS @ 16" OC WITH ONE LAYER 5/8" GWB EACH EXPOSED SID		OR SO	CHEDULI	=	Ι								
TO FINISHED CEILING. PLUMBING WALLS ON INTERIOR OF TOILETS SHALL HAVE WATER RESISTANT GWB. FINISHED PER SCHEDULE SHEET A2.0.				OORS	5	T	DETA	AILS		FR	HDW NOTES	DOOR NOTES	
PARTITION WALL: 3 5/8" (18 GAGE) METAL STUDS @ 16		М	H	Т	MATERIAL	TYPE	HEAD	JAMB	SILL				
OC (4'-O" WIDE ON LONG SIDE AND 3'-O" WIDE ON SHORT SIDE OF MOP SINK) WITH ONE LAYER 5/8" GWE TO UNDERSIDE OF STRUCTURE ABOVE ON STOCKROOM	1222	3'-0" PR 3'-0	7'-0" " 7'-0"	1 3/4" .063"	SOLID CORE WOOD ALUM. / ACRYLIC	D	-	-	-	-	100A 200A	2	
SIDE AND TO FINISH CEILING ON TOILET / OFFICE ROO' SIDE. PROVIDE WATER RESISTANT GWB ON PLUMBING	1 300	3'-0"	7'-0" " 7'-0"	1 3/4" 1 3/4"	SOLID CORE WOOD	<i>C</i>	-	-	<u>-</u>	-	300C 400A	2	
SIDE ONLY. FINISHED PER SCHEDULE SHEET A2.0.	400	PR 3'-0"	7'-0"	1 3/4"	18 GA HOLLOW METAL 18 GA HOLLOW METAL	B	-	-	<u>-</u> -	-	400A 400B	2	
NOT USED		PR 3'-0		1 3/4"	ALUM STOREFRONT	А	-	-	-	_	500A	1,2,3	
PARTITION WALL: 3 5/8" (20 GAGE) METAL STUDS @ 16 OC WITH ONE LAYER 5/8" GWB TO FINISH CEILING. WALLS ON INTERIOR OF TOILET ROOMS SHALL HAVE WATER RESISTANT GWB. FINISHED PER SCHEDULE SHEET A2.0. NERAL NOTES:	1.	ADJAC <u>TO REN</u> OCCUP HIGH O	L A SIGN ENT TO T 1AIN UNLO IED." THE	HE DOO OCKED SIGN S TRASTII	E EGRESS SIDE, ON OR OR STATING: " <u>THIS DO</u> <u>WHEN BUILDING IS</u> BHALL BE IN LETTERS I' NG BACKGROUND. SIGN	<u> </u>	HDW 11 10 W		HINGES SET WITH	S: STAND	ARD WEIGH LOCK	1 T	
THIS IS A OBACCO FREE CAMPUS THE HEALTH OF OUR EMPLOYEES, VENDORS AND VISITORS SMOKING IS NOT PERMITTED ON THIS CAMPUS	3.	 REFER TO FINISH NOTES 2 & 4 FOR PAINTING OF DOOR AND FRAMES. REFER TO FINISH NOTES 3 FOR ELIASON DOOR. PROVIDE CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH 4 ½" x 2" CENTER SET PROFILE AND THERMALLY BROKEN FRAMES. DESIGNER OF RECORD SHALL DETERMINE IF LOCAL CODES REQUIRE HIGH IMPACT GLAZING AND FRAMES PER LOCAL CODES. GENERAL HARDWARE NOTES 						HDW # 200A LWP-3 ALUMINUM TRAFFIC DOOR EASY SWING HINGE SYSTEM 9" X 30" CLEAR ACRYLIC WINDOW FLUSH HOLLOW METAL FRAME - DRYWALL HDW # 300C 1 1/2 PAIR HINGES: STANDARD WEIGHT 1 PRIVACY SET WITH LEVER HANDLE 1 CLOSER FLOOR/WALL STOP 1 COAT HOOK, MOUNTED 48" AFF CENTER OF DOOR					
	1.	REINFO	orce jan	1BS WIT	TH WOOD BLOCKING.			# 400A	·	ZINIED -	O AIT OLI	VIER OF BOOK	
EXE FREE NOTE: PROVIDE SIGNAGE AT EVERY FRY POINT ON EXTERIOR WALL INTO THE BUILDING THE GROUND UP OR IN-LINE STORE TYPE ABOVE. NS MUST BE IO"hXTw" IN SIZE. THE MATERIAL IS EFERRED TO BE ALUMINUM. SIGNS MAY BE FOUND WWW.compliancesigns.com EXTIFICATE OF OCCUPANCY E CONTRACTOR IS RESPONSIBLE FOR THE RTIFICATE OF OCCUPANCY" FOR THE BUILDING.	3. E 4	NLATCI IORE TI ENERA CONTE BE LEVE IITH ON PINCHIN	HING OF HAN ONE L HARDM ROLS AND ROLS A	THE LEA (1) OPE IARE NO OPERI (OR EG AND NO ISTING	RS ARE USED IN PAIRS, AF SHALL NOT REQUIRE RATION AS MENTIONED OTE #2 ABOVE. ATING MECHANISMS SHA QUAL) PROVIDING OPER OT REQUIRE TIGHT GRAS OF THE WRIST. THE FOR	ALL RATION SPING, RCE	N 1 2 2 1 1 1 1 2 1	ION-REIMON-AL. OVERHIME FLUSHIME PEEP HOUST PEEP HOUSTALLE	10VABL ARMED, BOLTS (ROOF ST DLE TO D BY TI IRESHOLE R STRIF	E PINS NON-KE' PLDERS/S ON INACTRIKE VIEW OU ENANT LD (1/2"	STOPS STIVE LEAF	BAR DEVICE) AT 4'-3" AFF,	
OX BOX NOTE:		000RS 22.2 N)	SHALL B i	E NO G	PLIED ACCESSIBLE SIG	05	HDW 1	400B	AL HINGES		HEAVY WE	I <i>G</i> HT,	
KNOX BOX ENTRY SYSTEM IS REQUIRED BY THE DES GOVERNING THE CONSTRUCTION OF THE	5.	THRES	HOLDS A	T EGRE	L SURFACE. ISS Doors Shall be n Eight aff.	NO		NITH STA OUNTING CLOSER	ND ALO DETAI COLE TO	DNE ALAF IL. VIEW <i>O</i> U		BAR DEVICE: To door alarm at 4'-3" aff	
KNOX BOX ENTRY SYSTEM IS REQUIRED BY THE DES GOVERNING THE CONSTRUCTION OF THE DIECT, PROVIDE RECESSED KNOX BOX PROVIDED THE GC PRIOR TO THE COMPLETION OF THE DIECT. LOCATE PER LOCAL CODE REQUIREMENTS.							_					•	
DES GOVERNING THE CONSTRUCTION OF THE DIECT, PROVIDE RECESSED KNOX BOX PROVIDED THE GC PRIOR TO THE COMPLETION OF THE DIECT. LOCATE PER LOCAL CODE REQUIREMENTS. DX BOX CONTACT - 866-625-4563 TE: FLOOR PLANS AND LAYOUTS CAN BE MIRRORED. NTACT FDS FOR MIRRORED FIXTURE PLANS PRIOR STARTING PLAN DESIGN AS MIRRORED LAYOUTS NOT BE THE SAME AS MIRRORING THE PLAN. ANGE IN DIMENSIONS WHILE MAINTAINING							1 1 1 1	SWEEP WEATHE RAIN DR	IRESHOL R STRIF RIP	LD (1/2" 1 =	MAX HEIGH' STOREFRO	T)	
DES GOVERNING THE CONSTRUCTION OF THE DIECT, PROVIDE RECESSED KNOX BOX PROVIDED THE GC PRIOR TO THE COMPLETION OF THE DIECT. LOCATE PER LOCAL CODE REQUIREMENTS. DX BOX CONTACT - 866-625-4563 TE: FLOOR PLANS AND LAYOUTS CAN BE MIRRORED. NTACT FDS FOR MIRRORED FIXTURE PLANS PRIOR STARTING PLAN DESIGN AS MIRRORED LAYOUTS NOT BE THE SAME AS MIRRORING THE PLAN.							HDW CM 1 2 2	SWEEP WEATHE RAIN DF # 500A ONTINUC IANUFAC ALUM TH	RESHOLER STRIF OUS HING TURER (RESHOLERS WITH PLATES	GES PER (BY GEN LD (1/2" I H STOP A	STOREFRO IERAL CON' MAX HEIGH'	T) ONT TRACTOR)	









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15225 Broadmoor Street

Overland Park, KS 66223

h|d Architecture, LLC

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CIVIL CONSULTANT

Renaissance Infrastructure Consulting 8653 Penrose Ln Lenexa, KS, 66219 913-317-9500

STRUCTURAL CONSULTANT

Apex Engineers, Inc 1625 Locust St Kansas City, MO 64108

MEP CONSULTANT

816-421-3222

5BY5 Engineers, LLC 1100 Main Street, Floor 4 Kansas City, MO 64105 (913) 689-9449



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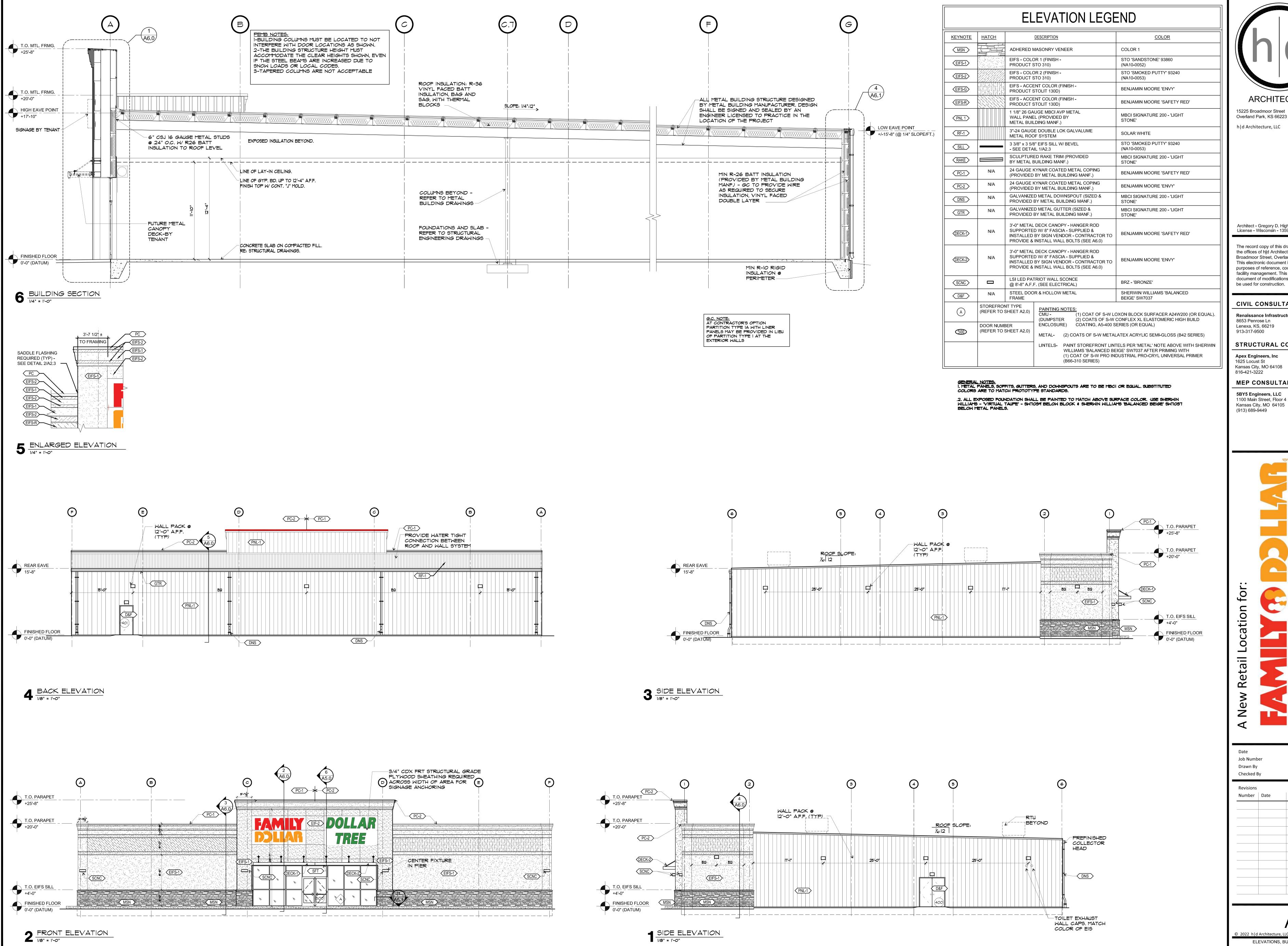
10/11/2022 20-002.72

Job Number Drawn By Checked By Revisions Number Date

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FLOOR PLAN, DOOR SCHEDULE

NOTE: CLOSER SHALL NOT HAVE A HOLD-OPEN FEATURE.



ARCHITECTURE

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CIVIL CONSULTANT Renaissance Infrastructure Consulting

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Apex Engineers, Inc 1625 Locust St Kansas City, MO 64108 816-421-3222

MEP CONSULTANT

5BY5 Engineers, LLC 1100 Main Street, Floor 4 Kansas City, MO 64105 (913) 689-9449

WI 53128 ocation for:

306 N. Village 10/11/2022 Date Job Number 20-002.72 Drawn By JMW Checked By

Revisions Number Date Description

ELEVATIONS, BUILDING SECTION

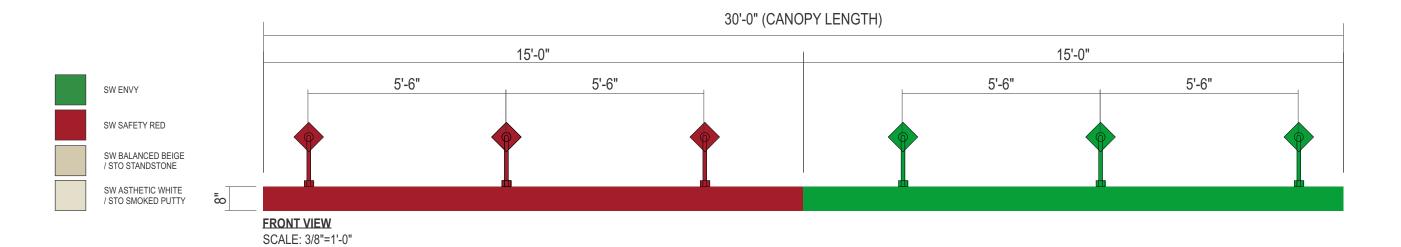
CL.1 25-1/8" & 30" FACE LIT CHANNEL LETTERS FLUSH MOUNTED - FRONT ELEVATION

SQUARE FOOTAGE: 92.52

ALLOWABLE SQUARE FOOTAGE: N/A
NOTE: MAY REQUIRE VARIANCE



PROPOSED ELEVATION SCALE: 3/32"=1'-0"



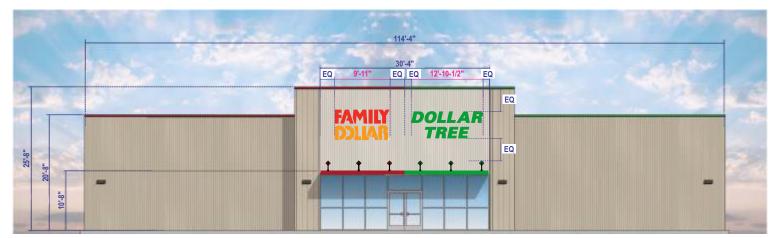


CL.1 25-1/8" & 30" FACE LIT CHANNEL LETTERS FLUSH MOUNTED - FRONT ELEVATION

SQUARE FOOTAGE: 92.52

ALLOWABLE SQUARE FOOTAGE: N/A

NOTE: MAY REQUIRE VARIANCE



PROPOSED ELEVATION SCALE: NTS



NIGHT VIEW: SCALE: NTS

SPECIFICATIONS (DOLLAR TREE)

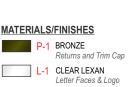
- LETTER FACES: CLEAR LEXAN W/ V-1 APPLIED 2ND SURFACE W/ WHITE DIFFUSER
- RETURNS / TRIMCAP: DURANODIC BRONZE P-1
- ILLUMINATION: GREEN L.E.D. MODULES FOR LETTERS
- INSTALL FLUSH WITH WALL AS REQUIRED
- LETTER E BACK TO EXTEND PAST RETURN TO INCORPORATE ®. V-1 VINYL APPLIED FIRST SURFACE.

SPECIFICATIONS (FAMILY DOLLAR)

- LETTER FACES: CLEAR LEXAN W/ V-3, V-4 APPLIED 2ND SURFACE W/ WHITE DIFFUSER
- RETURNS / TRIMCAP: DURANODIC BRONZE P-1
- INSTALL FLUSH WITH WALL AS REQUIRED
- $\bullet \ \text{INDIVIDUAL CHANNEL LETTERS FACELIT, LED ILLUMINATION}.$



NOTE: ALL VINYL TO BE SECOND SURFACE APPLIED TO CLEAR FACE PANELS.





FRONT VIEW: SCALE: 1/4" = 1'-0" 43.67 SQ.FT.

9'-11"

9'-11"

9'-7-1/2"

FRONT VIEW: SCALE: 1/4" = 1'-0" 48.85 SQ.FT.





LED LAYOUT: SCALE: NTS LED DETAILS TO BE PROVIDED

JONES SIGN
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WWW.JONESSIGN.COM

JOB #: **279016-R1**DATE: 10.4.2022
DESIGNER: JMC
SALES REP: MB
PROJ MGR: J.lavinsky

 REV.
 DATE
 BY
 DESCRIPTION
 CLIENT APPROVAL

 1
 10.04.22 JMC
 Remove option B
 C0.00.00 XX
 Remove option B

 2
 00.00.00 XX
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 4
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 LANDLORD APPROVAL

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FAMILY DOLLAR

DATE

DOLLAR TREE FAMILY DOLLAR - COMBO FULL

775 STATE HWY 47 ISLE, MN

SHEET NUMBER

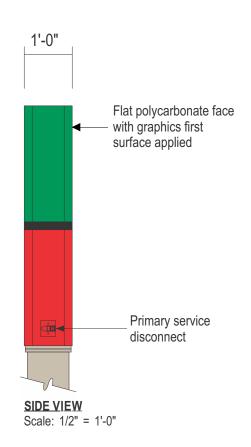
3

PS.1 PYLON SIGN (QTY 1)

SQUARE FOOTAGE: 50

ALLOWABLE SQUARE FOOTAGE: N/A







- ONE (1) DOUBLE-FACED, EXTRUDED ALUMINUM SIGN CABINET INTERNALLY ILLUMINATED WITH LEDS.
- .177" CLEAR POLYCARBONATE FACE PANELS WITH SECOND-SURFACE APPLIED TRANSLUCENT VINYL GRAPHICS
- CABINET, RETAINERS AND SUPPORT TO BE PAINTED IN COLORS AS SHOWN.
- SIGN TO BE INSTALLED WITH STEEL POST SET IN CONCRETE FOOTING AS REQUIRED

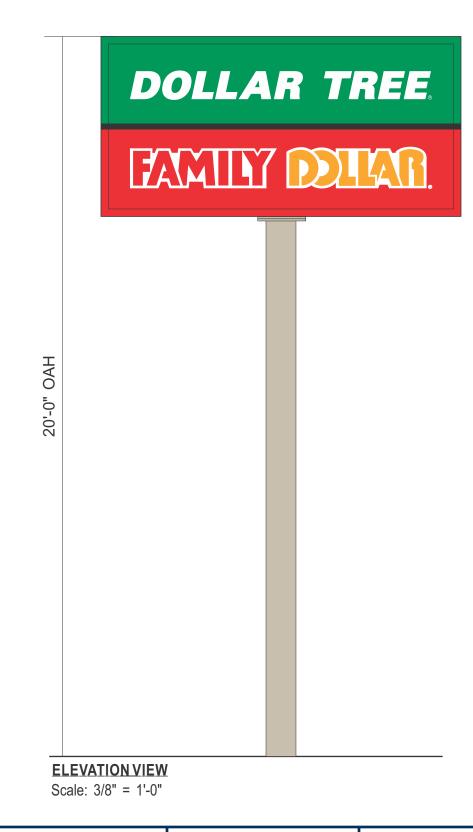
FACE COLOR SPECS V-2 TRANSLUCENT WHITE V-3 RED - 3M #3630-73 DARK RED V-4 ORANGE - 3M #3630-44 ORANGE V-5 3M VIVID GREEN #3630-156

TRANS VINYL W/ WHITE DIFFUSER TO CLEAR LEXAN

CABINET & SUPPORT

P-1 SW 2911 POMPEII RED CABINET 2-2 SW 6925 ENVY GREEN CABINET P-3 SW-7037 BALANCED BEIGE SUPPORT

NOTE: ALL VINYL TO BE SECOND SURFACE APPLIED TO CLEAR FACE PANELS.



JONES SIGN Your Vision. Accomplished. WWW.JONESSIGN.COM

JOB #: 279016-R1 DATE: 10.4.2022 DESIGNER: JMC SALES REP: MB

00.00.00 00.00.00 00.00.00 XX XXXX 00.00.00 XX XXXX 00.00.00 00.00.00 XX XXXX PROJ MGR: J.lavinsky

CLIENT APPROVAL LANDLORD APPROVAL



DOLLAR

FAMILY DOLLAR - COMBO FULL

775 STATE HWY 47 ISLE, MN

SHEET NUMBER





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MEMORANDUM

TO: Plan Commission

Village of Twin Lakes

FROM: GRAEF

Larry Witzling, Senior Planner & Urban Designer Dominic Marlow, Planner & Urban Designer

DATE: November 30, 2022

SUBJECT: Design Review for the proposed Family Dollar and Dollar Tree at North Lake Avenue

A. PURPOSE

Discuss and consider for approval a Design Review Application from Andy Gabbert, PLA (Applicant) for a new commercial development for parcels #85-4-119-211-4880 and #85-4-119-211-4890. For informational purposes, the Subject Property is located on CTH "EM" (North Lake Avenue), Twin Lakes, WI 53181.

The following items were submitted by the Applicant for review:

- Design Review Application and Checklist (3 pages, dated 10/11/22)
- Construction Documents (15 pages, dated 10/11/2022)
- Architectural Plans (2 pages, dated 10/11/2022)
- Sign Plan (3 pages, dated 10/4/2022)

B. BACKGROUND

The Applicant is proposing a Retail Store with Parking (Family Dollar and Dollar General) totaling 10,500 SF of building area and 38 standard parking spaces and 2 accessible spaces.

The proposed development would take place on the following parcels:

- #85-4-119-211-4880 0.73 acres and #85-4-119-211-4890 0.73 acres with 206 ft of frontage on North Lake Avenue.
- The parcel is currently vacant, zoned as COM "Commercial District". The use "Retail, including but not limited to: art, books, clothing, electronics, flowers, music, and shoe stores," is listed as a Permitted Use.
- The land contains wetlands and some existing vegetation (The Applicant is not proposing to disturb the existing wetlands).

It is the understanding of GRAEF that reviews and comments on all engineering-related aspects of the proposed development are to be accomplished by the Village Engineer. Therefore, GRAEF defers all engineering-related review and comment to the Village Engineer.









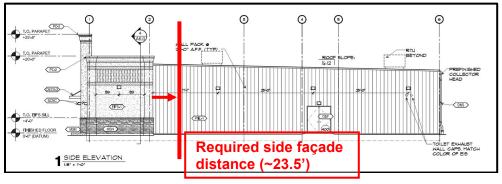
C. DESIGN REVIEW REQUIREMENTS (§17.42.040)

Design Review Requirements were reviewed for development to be practical, feasible, and an economic asset to each owner, the neighbors and community. Selections from §17.42.040 are included where relevant to the proposed development on the Subject Property.

A. Buildings

- a. Façade materials: The Applicant is proposing a masonry facade composed of adhered masonry veneer (natural stone cut into thin sections) and Exterior Insulation Finishing Systems (EIFS also known as "synthetic stucco") with coated metal coping topping the parapet walls. The façade materials extend approximately eighteen (18) feet on each side of the front of the building. The building side dimension is approximately ninety-four (94) feet. The facing materials should extend a minimum distance equal to one-fourth (1/4) of the side dimension. One-fourth (1/4) of ninety-four (94) is ~ 23.5 '.
 - i. <u>Applicant should revise the elevations in the architectural plan to extend façade</u> materials a minimum distance equal to one-fourth (1/4) of the side dimension.

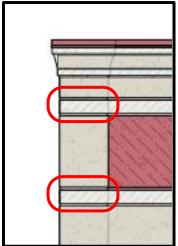
Figure 2: Side Elevation (Source: Applicant)





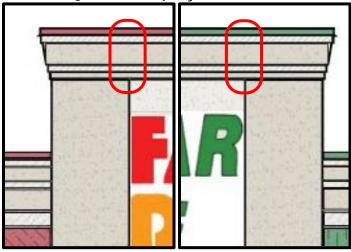
- b. Architectural consistency and coherence: The Applicant is proposing a two-part façade with column details at each major corner. Changes in material, color, and/or texture shall occur at points relating to the massing, fenestration and overall design concept of the building. Below are several alternatives for improving the appearance of the façade.
 - i. The Plan Commission should consider **one or more** of the following options for improving the building design:
 - 1. <u>Applicant should remove the stripes across the column details to distinguish</u> them from the rest of the façade design (See Figure 3); and/or





 Applicant should continue the horizontal articulation of the parapet on the primary façade the entire length of the column to match the column details on the secondary façade (See Figure 4); and/or (continues on next page)

Figure 4: Primary Façade Articulation





3. <u>Applicant should integrate red brick of similar masonry materials compatible</u> <u>with its surroundings (See Figures 5-7); and/or (continues on next page)</u>

Figure 5: Proposed Façade (Source: Applicant)



Figure 6: Built Example of Proposed Façade (Source: Google)



Figure 7: Precedent Photos (Source: Google)











Figure 8: Character of Surrounding Buildings (Source: Google)













4. <u>Applicant should revise the roofline to a gable design more compatible with its surroundings (See Figure 8).</u>



- c. Visibility from the Street: All buildings should be situated on the lot to present their most desirable face to the street and, where possible, should be related to buildings on adjoining lots. (§17.42.040(A)(4)) The adjacent building to the north of the proposed structure should sufficiently screen the northern façade from the street; however, any future development of the parcel to the north may expose more of this façade to the street (See Figure 9. The southern façade is oriented away from the street and does not represent a concern.
 - i. Plan Commission to determine the need for additional façade requirements on the northern facade.

Potential view from street resulting from future development

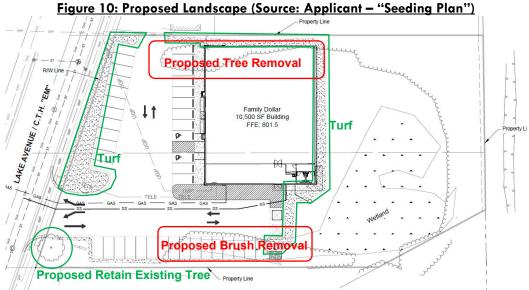
Figure 9: Visibility from the Street (Source: Applicant - "General Layout")

Adjacent Building Location I dA HSELED "T" IN SIDEW/ FIV #804 69 Family Dollar 10,500 SF Building Adjacent Building Location



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- B. Landscaping (§17.42.040(B)): Landscape design and planting is to be an integral part of the site design concept and not an afterthought merely added onto the report.
 - a. The front yard setback areas shall be landscaped with an effective combination of street trees, trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the right-of-way and the building setback line of any property shall be landscaped with a combination of landscape plantings and earth berms to interrupt or screen all of the use areas with the exception of the building façade.



i. The Applicant shall submit a revised landscape plan including street trees, trees, ground cover and shrubbery in the front setback area and unpaved areas.



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- c. Areas used for parking and loading shall be landscaped and/or fenced in a manner so as to interrupt said areas from view from public streets and public use areas on adjoining properties. Plant materials used for this purpose shall consist of lineal of group masses of shrubs and/or trees (§17.42.040(B)(5))
- d. All existing vegetation shall be preserved wherever possible and practical. (§17.42.040(B)(8)) The adjoining property currently benefits from the screening and shade provided by the existing tree line on the north side of the property.
 - i. The Applicant shall revise the landscape plan to preserve the existing tree line on the north side of the property; or
 - ii. <u>The Applicant shall provide screening in the form of a fence of landscape buffer on the north side of the property.</u>

Figure 11: Existing Trees on Subject Property (Source: Google)

*The existing tree on the subject property is likely a type of Locust, such as Black Locust Tree.



 e. Any approved outdoor storage areas and refuse collection areas shall be visually screened. The Applicant shared the following image over email regarding the proposed screening:

PREFINISHED METAL PANELS, COLOR TO MATCH THE BUILDING COLOR, 28'-10 I' CLEAR F HINGE (TYP) EIFS AND MASONRY TYPE 2 TO MATCH THE BUILDING STEEL TUBING # 1/2"x2 1/2"x1/4" WELD # GALV. 8' 50, TUBE STL, POST (TYP) (PAINT) HINGE (TYP) -6" CONC. SLAB W/ 6X6-M2.9 X M2.9 MWF. ON 4" COMPACTED FILL EL REI CIVIL STEEL REINFORCED
2"-4"/2"-4" CONORETE
FOOTING W/ (3) *6 CONT.
TOP AND BOTTOM, (2)
CONT. MID DEPTH and *4
STIRRUPS # 24" O.C. %" DIA, RETRACTABLE DROP PINS (GALV). 7 DUMPSTER ENCLOSURE ELEVATION 0 0 0 6 DUMPSTER ENCLOSURE PLAN

Figure 12: Proposed Screening of Refuse (Source: Applicant 11/28/22)

f. The side yards abutting the front one-quarter (1/4) of the building shall have a minimum of an eight (8) foot strip for landscaping or walkway immediately adjacent to the building.



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- C. Signs §17.57: "Sign" means and includes every device, frame, latter, character, mark, plane, point, design, picture, logo, stroke, stripe, trademark or reading matter, which is used or intended to be used to attract attention or convey information when the same is placed out of doors in view of the general public; in addition, any of the above which is note placed out of doors, but which is illuminated with artificial or reflected light. Also, the above, when near the inside surface of a window in such a way as to be in view of the general public and used or intended to be used to attract attention or convey information to motorists.
 - a. A sign may be erected, established, painted, created or maintained in the Village only in conformity with the standards, procedures, exemptions and other requirements of §17.57 "Signs" (§17.57.030(A))
 - b. The effect of §17.57 is to prohibit all signs not expressly permitted by this Chapter. (§17.57.030(B)(3)). Similar Family Dollar and Dollar Tree developments utilize their primary façade window space for signage (See Figure 14). Any restricted signs placed out of doors or near the inside surface of a window shall conform to the regulations of Chapter 17 of the Village Code.

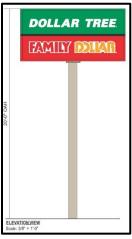


Figure 14: Precedent Photo of Window Signs (Source: Google)

- The Applicant shall not place restricted signs out of doors or near the inside surface of a window without first applying for and receiving a Building Permit from the Village Building Inspector.
- c. The total gross surface area for business signs is three hundred (300) square feet (maximum) for each business on the first floor level. (§17.57.100(D)) The Applicant is proposing a total of one hundred forty-seven (147) square feet of signage.
- d. Except in area identification signs and/or joint identification signs for shopping centers, office complexes and similar structures, any individual display surface of a detached sign shall not exceed one hundred (100) square feet and the total vertical height including structural supports shall not exceed twenty (20) feet. (§17.57.100(L)) The Applicant is proposing a twenty (20) foot in height detached "pylon" sign totaling fifty (50) square feet (See Figure 15).



Figure 15: Proposed Detached Sign (Source: Applicant – "Pylon Sign")



e. Painted skeleton cutout letter signs shall be located on the building or structure being served and shall only be permitted on cornice, lintel or panel of the building or structure. The number of painted skeleton cutout letter signs shall not be limited, provided; however, the total allowed gross surface area for restricted signs (300 square feet) is not exceeded. There shall be no maximum dimensions for the size of letters contained in skeleton cutout signs. (§17.57.100(P)) The Applicant is proposing two skeleton cutout ("Face lit channel letters flush mounted") signs on the panel of the primary façade (See Figure 16). Each is approximately forty-two (~42) and fifty-five (~55) square feet respectively.

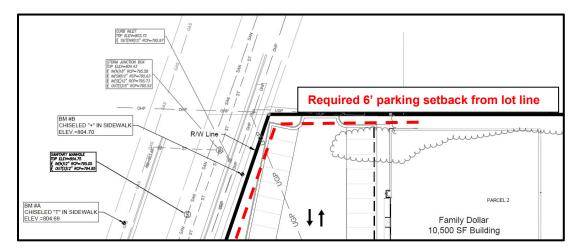
<u>Figure 16: Proposed Skeleton Cutout Letter Signs (Source: Applicant – "Face lit channel letters flush</u> mounted")





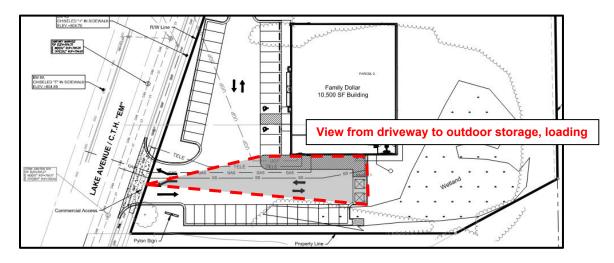
- D. Parking and Loading Areas
 - a. All parking lots shall be located at least six (6) feet from any lot line. (§17.42.040(D)(1))
 - i. <u>The Applicant shall revise the parking layout to conform to all required setbacks (See Figure 17).</u>

Figure 17: Parking Setbacks (Source: Applicant - "General Layout")



b. It is intended that driveways be laid out in order to avoid a direct, unscreened view from the street to employee parking areas, loading docks, maneuvering areas and permitted outdoor storage areas. (§17.42.040(D)(4)) The Applicant is proposing a driveway into the southern portion of the site facing into the building's southern façade, storage, and loading areas (See Figure 18).

Figure 18: Driveway Orientation (Source: Applicant - "General Layout")





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- i. The Applicant shall submit a revised site plan such that it avoids a direct, unscreened view from the street to employee parking areas, loading docks, maneuvering areas and permitted outdoor storage areas.
- E. Utilities: The Applicant is proposing underground utilities.
- F. Snow Removal: Snow removal areas and procedures must be described in the plans. Snow removal storage areas shall not interfere with driveway visibility. The intersection visibility standards contained in the Village Zoning Ordinance shall be applied. Snow storage areas shall be adequately drained so that snow melt does not drain across public roadways or sidewalks, and all stockpiling of snow shall be on-site. (§(17.42.040(F))
 - a. <u>The Applicant shall submit all required information regarding snow removal and procedures</u> <u>adhering to the standards contained in the Village Zoning Ordinance.</u>
- G. Lighting: All outdoor lighting shall be controlled so as not to extend a direct light source or glare onto abutting properties. Cutoff type luminaries shall be used and al lighting sheds shall be indicated in the plans. All outdoor lighting shall be compatible with existing lighting in the area. (§(17.42.040(G)) The Applicant has not submitted a lighting plan. The Applicant is proposing four (4) cutoff type sconces on the façade.
 - a. The Applicant shall submit a Lighting Plan.
- H. Fire Protection: Plans shall indicate how fire protection will be provided.
- I. Stormwater Drainage and Erosion Control Ordinance: All sites shall be planned to provide erosion control measures and storm water drainage improvements acceptable to Village Staff.
- J. Street Standards: All projects which require Design Review shall also be subject to the dedication and improvement of abutting roadways and walkways to meet the standards described in the Village's adopted plans and Ordinances.
- K. Garbage and Refuse: All sites shall be planned to provide screening and storage of garbage and refuse acceptable to the Plan Commission.



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D. RECOMMENDATION

GRAEF has included three potential actions listed below for the Plan Commission to consider:

Design Review Agenda Item: The request of Andy Gabbert, PLA (Applicant) for a Design Review on tax parcels #85-4-119-211-4880 and #85-4-119-211-4890, Village of Twin Lakes, Kenosha County and State of Wisconsin:

- <u>CONDITIONALLY APPROVE</u> the Application, pending the submission of additional information listed below. NOTE: Plan Commission shall review the below conditions and cross out any conditions that are deemed unnecessary.
- (2) <u>TABLE</u> the agenda item until additional information is submitted to the Village and the Plan Commission can review and take action at next month's meeting to confirm that any discussed components and/or additional submittals are addressed.
- (3) **<u>DENY</u>** the agenda item (pointing out reasons for denial merit).

Possible conditions recommended by GRAEF to include if "conditional approval" of the Design Review is desirable to the Plan Commission:

- 1. Buildings: Façade Dimensions
 - a. Applicant shall revise the elevations in the architectural plan to extend façade materials a minimum distance equal to one-fourth (1/4) of the side dimension.
- 2. Buildings: Architectural Consistency and Coherence:
 - a. Applicant should remove the stripes across the column details to distinguish them from the rest of the façade design; and/or
 - b. Applicant should continue the horizontal articulation of the parapet on the primary façade the entire length of the column to match the column details on the secondary façade; and/or
 - c. <u>Applicant should integrate red brick of similar masonry materials compatible with its surroundings; and/or</u>
 - d. Applicant should revise the roofline to a gable design more compatible with its surroundings.
- 3. Buildings: Visibility from the Street
 - a. <u>Plan Commission to determine the need for additional façade requirements on the northern façade.</u>
- 4. Landscape: Landscape Design
 - a. <u>The Applicant shall submit a revised landscape plan including street trees, trees, ground cover and shrubbery in the front setback area and unpaved areas.</u>
- 5. Landscape: Existing Trees
 - a. The Applicant shall revise the landscape plan to preserve the existing tree line on the north side of the property; or
 - b. <u>The Applicant shall provide screening in the form of a fence of landscape buffer on the north side of the property.</u>
- 6. Landscape: Side Yard
 - a. The Applicant shall revise the site plan to include an eight (8) foot strip for landscaping or walkway abutting the front one-quarter (1/4) of the building on the north side of the property.



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- 7. Signs: Window Signage
 - a. The Applicant shall not place restricted signs out of doors or near the inside surface of a
 window without first applying for and receiving a Building Permit from the Village Building
 Inspector.
- 8. Parking and Loading Areas: Parking Setbacks
 - a. The Applicant shall revise the parking layout to conform to all required setbacks.
- 9. Parking and Loading Areas: Driveway Orientation
 - a. The Applicant shall submit a revised site plan such that it avoids a direct, unscreened view from the street to employee parking areas, loading docks, maneuvering areas and permitted outdoor storage areas.
- 10. Snow Removal
 - a. <u>The Applicant shall submit all required information regarding snow removal and procedures adhering to the standards contained in the Village Zoning Ordinance.</u>
- 11. Lighting
 - a. The Applicant shall submit a Lighting Plan.